

## AGENDA FOR

## PLANNING CONTROL COMMITTEE

*Contact::* Michael Cunliffe  
*Direct Line:* 0161 253 5399  
*E-mail:* m.cunliffe@bury.gov.uk  
*Web Site:* www.bury.gov.uk

**To: All Members of Planning Control Committee**

**Councillors :** G McGill (Chair), S Briggs, T Cummings, S Haroon, J Harris, M Hayes, G Keeley, J Mason, B Mortenson, I Schofield, C Tegolo, K Thomas and D.Vernon

Dear Member/Colleague

### Planning Control Committee

You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

<b>Date:</b>	Tuesday, 20 April 2021
<b>Place:</b>	Virtual meeting via Microsoft Teams <a href="https://councilstream.com/burycouncil">https://councilstream.com/burycouncil</a>
<b>Time:</b>	7.00 pm
<b>Briefing Facilities:</b>	If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.
<b>Notes:</b>	

## **AGENDA**

### **1 APOLOGIES FOR ABSENCE**

### **2 DECLARATIONS OF INTEREST**

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

### **3 MINUTES OF THE MEETING HELD ON 23RD MARCH 2021** *(Pages 3 - 6)*

Minutes of the meeting held on Tuesday the 23<sup>rd</sup> March 2021 are attached.

### **4 PLANNING APPLICATIONS** *(Pages 7 - 106)*

Reports attached.

### **5 DELEGATED DECISIONS** *(Pages 107 - 122)*

A Report from the Head of Development Management on all delegated planning decisions since the last meeting of the Planning Control Committee is attached

### **6 PLANNING APPEALS** *(Pages 123 - 128)*

A report from the Head of Development Management on all Planning appeal decisions since the last meeting of the Planning Control Committee is attached

### **7 PLANNING ENFORCEMENT** *(Pages 129 - 146)*

A report from the Head of Development Management providing statistical information on Enforcement activity between the 31<sup>st</sup> December 2020 to 31<sup>st</sup> March 2021.

### **8 URGENT BUSINESS**

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

**Minutes of: PLANNING CONTROL COMMITTEE**

**Date of Meeting:** 23 March 2021

**Present:** Councillor G McGill (in the Chair)  
Councillors T Cummings, J Harris, M Hayes, G Keeley,  
B Mortenson, I Schofield, C Tegolo and D.Vernon

**Also in attendance:** Councillors: C Cummins, T Holt & S Smith.

**Public Attendance:** 5 members of the public were in virtual attendance at the meeting.

**Apologies for Absence:** Councillors S Briggs, S Haroon, J Mason & K Thomas.

---

**PCC.1 APOLOGIES FOR ABSENCE**

Apologies for absence were submitted on behalf of Councillors S Briggs, S Haroon, J Mason & K Thomas.

**PCC.2 DECLARATIONS OF INTEREST**

There were no declarations of interest made at the meeting.

**PCC.3 MINUTES OF THE MEETING HELD ON 16TH FEBRUARY 2021**

**Delegated decision:**

That the Minutes of the meeting held on the 16<sup>th</sup> February 2021 be approved as a correct record and signed by the Chair.

**PCC.4 PLANNING APPLICATIONS**

A report from the Head of Development Management was submitted in relation to various applications for planning permission.

Supplementary information was also submitted in respect of application numbers 65525, 66058, 66177, 66226, 66308, 66366 and 66431.

The Committee heard representations from applicants and/or objectors in respect of the applications submitted. This was limited to three minutes for each speaker.

Councillor S Smith and T Holt spoke as a Ward Representatives in relation to planning application 66058.

Councillor C Cummins spoke as a Ward Representative in relation to planning application 66177.

**Delegated decisions:**

1. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and subject to the conditions included:-

**65015 Land at Morris Street, Radcliffe**

Construction of 25 no. dwellings with associated access, landscaping and ancillary works

2. That the Committee be **Minded to Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and any supplementary information submitted and subject to the conditions included:-

**65525 Topping Mill, Topping Street, Bury, BL9 6DR**

Change of use of former industrial premises (Class B2) into 15 no. residential apartments (Class C3)

3. That the following planning applications be **deferred** for a site visit prior to consideration by the Committee:-

**66058 55 Rochdale Road, Bury, BL9 0QZ**

Extension to form workshop (Class B2)

**66177 18-20 Holcombe Village, Ramsbottom, Bury, BL8 4LZ**

Two storey rear extension with timber cladding to accommodate storage area

**66226 26 West Drive, Bury, BL9 5DN**

New dwelling in garden of existing house

4. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and any supplementary information submitted and subject to the conditions included:-

**66308 Land north of Heatherside Road, Ramsbottom, Bury, BL0 9BX**

Erection of 1no. bespoke, self-build and custom-build dwelling, access, driveway, parking, landscaping and all other associated works

5. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and any supplementary information submitted and subject to the conditions included with an amended condition related to condition 8 and remaining boundaries:-

**66366 Former Site of Andrew Textile Industries Ltd, Walshaw Road, Bury, BL8 1NG**

Site wide preparatory works, comprising the full demolition of the vacant industrial building and ancillary structures, and remediation and earthworks in connection



with the future residential redevelopment of the site which has been granted outline planning permission.

6. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and any supplementary information submitted and subject to the conditions included:-

**66431 Sports Pavilion, Heys Road, Prestwich**

Erection of pergola and timber summerhouse

7. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and subject to the conditions included:-

**66472 115 Radcliffe Road, Bury, BL9 9LD**

Change of use from cafe (Class E (b)) to hot food takeaway (Sui Generis) with installation of flue/extractor system at rear

**PCC.5 DELEGATED DECISIONS**

A report from the Head of Development Management was submitted listing all recent planning application decisions made by Officers using delegated powers since the last meeting of the Planning Control Committee.

**Delegated decision:**

That the report and appendices be noted.

**PCC.6 PLANNING APPEALS**

A report from the Head of Development Management was submitted listing all recent Planning Appeal decisions since the last meeting of the Planning Control Committee.

**Delegated decision:**

That the report and appendices be noted.

**PCC.7 SECTION 106 AGREEMENTS**

A report from the Head of Development Management was submitted to outline the contributions made by S106 obligations between 1 April 2018 and 31 March 2019 and summarise those agreements where obligations are outstanding and those where the triggers for meeting obligations have not yet been reached.

**Delegated decision:**

That the report be noted.

**PCC.8 URGENT BUSINESS**

No urgent business was reported.

**COUNCILLOR G MCGILL**  
**Chair**

**(Note: The meeting started at 7.00pm and ended at 9.25pm)**

<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>20 April 2021</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

### **Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

### **This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

<b>01</b>	<b>Township Forum - Ward:</b> Bury East	<b>App No.</b> 66058
	<b>Location:</b> 55 Rochdale Road, Bury, BL9 0QZ	
	<b>Proposal:</b> Extension to form workshop (Class B2)	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> Y
<hr/>		
<b>02</b>	<b>Township Forum - Ward:</b> Radcliffe - North	<b>App No.</b> 66064
	<b>Location:</b> Former Tarmac Building Materials Ltd, Stopes Road, Little Lever, Bolton, BL3 1NR	
	<b>Proposal:</b> Reserved Matters for means of access to the site (Bury Council) and outline planning application for the demolition of the existing structures on the site, and redevelopment of the site for a future residential development of up to 132 no. dwellings and associated public open space, with all matters reserved except for access (Bolton Council)	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		
<b>03</b>	<b>Township Forum - Ward:</b> Ramsbottom and Tottington - Ramsbottom	<b>App No.</b> 66177
	<b>Location:</b> 18-20 Holcombe Village, Ramsbottom, Bury, BL8 4LZ	
	<b>Proposal:</b> Rear extension to form a storage area	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> Y
<hr/>		
<b>04</b>	<b>Township Forum - Ward:</b> Bury East - Moorside	<b>App No.</b> 66226
	<b>Location:</b> 26 West Drive, Bury, BL9 5DN	
	<b>Proposal:</b> New dwelling in garden of existing house	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> Y
<hr/>		
<b>05</b>	<b>Township Forum - Ward:</b> Ramsbottom and Tottington - Ramsbottom	<b>App No.</b> 66503
	<b>Location:</b> Land to the south of Moorbottom Road, Holcombe, Bury, BL8 4NS	
	<b>Proposal:</b> Variation of condition 12 of planning permission 64786 to remove the green sedum seeded roofing system to the agricultural building from the condition.	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
<hr/>		

This page is intentionally left blank

**Ward:** Bury East

Item 01

**Applicant:** The Car People

**Location:** 55 Rochdale Road, Bury, BL9 0QZ

**Proposal:** Extension to form workshop (Class B2)

**Application Ref:** 66058/Full

**Target Date:** 15/02/2021

**Recommendation:** Approve with Conditions

**The application was deferred from the March Planning Committee meeting for a site visit.**

**Description**

The site is circa 2 ha in area and relates to an existing car sales showroom and ancillary servicing and workshop business on the site of a former bus depot, which was granted approval for a change of use and built development under planning reference 63872 in 2019.

The existing bus depot building has been utilised as the main car showroom and sales area and an extension to the west elevation has been added. The approved plan showed parking to the north and east for staff and customers and a row of parking spaces, including disabled parking along the southern boundary of the site to Back Fletcher Street.

The southern area of the site has not been formally laid out or demarcated for parking in accordance with the approved scheme and the surfacing remains unfinished. A motor cycle and cycle parking area was to be provided next to the south elevation of the building but appears not to have been implemented.

Adjacent to Back Fletcher Street and along the southern boundary of the site a landscaping scheme and planting was to be provided but this has also not been implemented.

There are two access points into the site, one off Derby Way for customers and the primary access off Rochdale Road which is used for deliveries. There is also an access off York Street which is only to be used by staff of the site.

The site is located just east of Bury Town Centre with Moorgate Business Park to the north. To the immediate south of the site is a row of terraced dwellings on Fletcher Street who are set circa 1m lower and whose rear elevations directly face the site.

An application for an extension to form a workshop ancillary to the main car showroom use was submitted in June 2020 (planning reference 64637). Prior to the determination of the application and a grant of consent, works started on site to erect the extension and the portal frame of the building was completed.

The portal frame of the building which has been erected unlawfully is located directly adjacent to the southern boundary with Back Fletcher Street. It extends circa 26m along this boundary with an eaves height of 5.88m and a ridge height of 7.5m.

Following the investigation by the LPA's Enforcement Officer, a stop notice was served and works ceased. The planning application was subsequently refused for a number of reasons including detrimental impact on residential amenity by virtue of the scale, massing, position and height of the extension, loss of parking facilities and highway safety.

The applicant was advised that works should not continue on site until a further application

had been submitted to the LPA with the reasons for refusal to be overcome in the new scheme.

This application therefore seeks to regularise the erection of the extension but with amendments to address the scheme which was previously refused.

The workshop extension would be located in the southern area of the site directly adjacent and connecting to the existing main showroom. The workshop would be used for car body repairs and the re-spraying of cars.

This application now proposes an extension which would be increased in length but reduced in width and ridge height. The proposed extension would extend along the southern boundary by a total of 44m and which would cover a floor area of 760 sqm. The width of the extension would be reduced and set back from the southern boundary of the site by 8.6m. It would be separated from the rear elevations of the houses on Fletcher Street by 21.4m. The eaves height would be reduced to 4.71m and retain the ridge height of approx 7.5m.

The extension would have a steel frame with the elevations clad in grey insulated composite panels. There would be a loading bay door opening and an access door on the west elevation with a doorway on the east elevation.

A car preparation area to provide 28 spaces to store the cars prior to works being carried out within the workshop would be located along the southern boundary. It is also proposed to incorporate landscaping between the car preparation area and the southern boundary with 5 standard trees and ornamental shrubs.

The footprint of the building would be located on the parking area on the original grant of consent for the redevelopment of the site and this parking would be re-provided to the north and west of the main building.

### **Relevant Planning History**

56253 - Outline - Demolition of existing bus depot and erection of foodstore of 10499 m2, 500 parking spaces(Class A1), petrol filling station, associated car parking and servicing facilities - Refused 18/09/2013

57971 - Outline - Demolition of existing bus depot and erection of foodstore of 10499 m2, 500 parking spaces(Class A1), petrol filling station, associated car parking and servicing facilities (resubmission)

- Withdrawn - Invalid 20/10/2014

63872 - Change of use of former bus depot to car sales, ancillary vehicle servicing; new vehicular access from Derby Way; external alterations to the building, Security lodge and erection of flood lighting and CCTV cameras. - Approve with Conditions 15/11/2019

64637 - Extension to form workshop (Class B2) - Refused 24/8/20

18/0416 - Change of use from former bus depot to car showroom and alterations to existing buildings - 27/02/2019

20/0056 - Breach of pre-commencement conditions of planning permission 63872 - 10/09/2020

### **Publicity**

Letters sent on 22/12/20 to 37 properties on Derby Way, Moorgate Retail Park, York Street, Rochdale Road, Yarwood Street, Fletcher Street, Goodall Street.

Site notice posted 15/1/21.

Four letters of objection received from Nos 11, 19, 21, 23 Fletcher Street with the following issues -

- In the new application for the workshop the size of the building has been slightly reduced. However the building will still be huge. It will still block light coming into my



kitchen and will also impact the light in the bedroom. The building will be approx. 68 ft from the back of my house, it is approx.. 42 ft from the back of my house to the boundary fence, the palisade fence. This means the building will be reduced approx. 26ft and in this space they propose landscaping and a car prep area.

- The height of the building is not reduced very much either and they propose to extend the length, to make up for the loss in width, which will effect more houses. The building will be in dark grey metal, this will be a huge metal industrial building covering most of the back of Fletcher St. All we will see will be a huge dark structure blocking light and skyline.
- Car prep area - As the building will have 4 paint booths, car prep areas are usually where cars are sanded and primed ready for spraying. Will this be happening here? If not will this area be for customers car parking which will cause more pollution with car fumes, not only customers cars but the associated trades that will be delivering there. Plus the noise from constant cars arriving and leaving. The car prep area is the length of the building and more, this will accommodate a lot of cars. Bury is part of the Manchester Clean Air Plans and as residents we shouldn't be expected to put up with more pollution.
- Landscaping - There is also an area for landscaping. The original landscaping was removed by the Car Group. The landscaping was on a slight slope which came down to level of back Fletcher St. This area was filled in with soil and rubble to the height of the old car park. This means the level of the ground is now 2 - 3 ft above the level of back Fletcher St. The palisade fence, open fence, had some blue plastic sheeting and some boards put against it then the ground was filled in. Soil/rubble is now coming through the fence into back Fletcher St in some parts. Rats now look like they are digging holes into this soil/rubble, we don't want a rat problem as well. The plans do not show that the level of the ground will be taken back to the original level.
- Noise - Although the applicants had a noise survey done, this survey was carried out over the weekend outside, and in the existing workshop, which is considerably smaller than the intended one, during the week. I'm not sure how this can accurately predict noise level once a huge workshop is established.
- Residents - Although we live in a part industrial area surely we as residents are entitled to some quality of life, amenity and outlook, the size of this building and associated noise will impact that. All we will see outside, as well as inside, is a high black industrial building and the associated noise that it will bring. This is the only outside space we have to relax in and it does our wellbeing good.
- Can see nothing from my house but the massive monstrosity.
- The building will make the neighbours prisoners in our own home
- Seriously affect the value of our houses
- Affect our mental well being
- This structure was put up without permission and 6 months later is still standing - the company have no regard for the affect on the surrounding residents

Those who have objected have been informed of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objection

**Borough Engineer - Drainage Section** - No response received.

**Environmental Health - Contaminated Land** - No objection subject to conditions

**Environmental Health - Commercial Section** - No response received

**Environmental Health - Pollution Control** - No objection subject to condition

**Waste Management** - No response received

**Planning Policy Manager** - No comments to make

**United Utilities (Water and waste)** - No response received.

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions

### **Unitary Development Plan and Policies**

Area Rochdale Road/Lord Street/York Street

BY10	
NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN4/2	Energy Efficiency
EN4	Energy Conservation
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/3	Water Pollution
EN7/2	Noise Pollution
EC6/1	New Business, Industrial and Commercial
S4/4	Car Showrooms, Car Sales Areas and Petrol Filling Stns
HT2/4	Car Parking and New Development
HT4	New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury

## Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

### Policies

UDP Policy S4/4 - Car Showrooms, Car Sales Areas and Petrol Filling Areas should be located within or adjoining established shopping areas, near classified roads or within other industrial and commercial areas. Regards is given to the potential disruption to traffic, provision of adequate, well laid out car parking and display facilities together with safe and convenient arrangements for access, circulation and egress, road safety and pedestrian safety and amenity of nearby residencies.

EC6/1 - Assessing New Business, Industrial and Commercial development expects development to be of a high standard of design and appearance and take account of the surrounding environment, amenity and safety of employees, visitors and adjacent occupiers. Factors considered include scale, size and height of buildings, access and parking provision, landscaping and boundary treatment, effect on neighbouring properties and health of safety considerations.

The principle of the use of the site for a commercial redevelopment as a car sales and ancillary servicing workshop was considered under application ref 63872 as acceptable. Whilst the proposal to erect an extension as an ancillary workshop for the site would not conflict with the current use of the site, the proposed development needs to be considered and assessed under policies EC6/1 and S4/4 in terms of scale, layout, impacts on residential and visual amenity and highways issues, which are discussed below.

**Layout and scale** - The proposed extension would be located between the southern elevation of the existing building and the southern boundary. It would cover a footprint of 760 sqm and be 44m in length on the existing hardstanding area. Whilst the extension would be extended in length by 16m comparative to the previous scheme, it would be reduced in width and would now be set back from the southern boundary of the site by 8.6m and 21.42m from the rear elevations of the houses on Fletcher Street.

The siting of the extension would result in the loss of parking in this area which was approved as part of the consent granted for the original change of use of the site. The proposed plan shows there would be replacement parking to the north and west of the main building, including 5 EV charging points and 7 disabled spaces, resulting in a net gain for the site.

The scheme proposes to locate a car preparation area between the proposed extension and the southern boundary to provide 28 spaces for cars to be stored prior to them being treated in the workshop. This area would be layout out in a tandem arrangement. This area would be used as car storage only and not as a typical car park. It would be managed and organised by the applicant according to which cars were to be worked on.

The landscaping and screen planting which should have been provided along the southern boundary of the site has not been implemented. This application seeks to correct this and proposes a landscaping scheme of 5 regular standard trees (minimum height 3m at first planting) and ornamental shrubs.

An area just inside the gated site access from the Rochdale Road access point would provide a turning area to facilitate the delivery of vehicles with a pedestrian footpath route.

It is therefore considered that the proposed layout addresses the reasons for refusal in terms of layout in the previous application, in so far that it would be moved away from the boundary to Back Fletcher Street, provide replacement parking, a safe pedestrian route to the site, area for the delivery of vehicles and the provision of a more robust landscaping scheme along the southern boundary which would be secured by condition.

As such, the proposed development is considered acceptable and would comply with UDP Policies EC6/1, EN1/2 and S4/4.

#### **Residential amenity -**

Relationship of the building to Fletcher Street - The nearest residential properties are the row of terraced houses on Fletcher Street to the south of the site which are separated by Back Fletcher Street. The rear elevations of these houses face the site and are set approximately 1m lower. There is an existing palisade fence which runs along the southern boundary of the site.

It is now proposed to move the building back from the southern boundary by 8.6m and reduce the eaves height from 5.88m to 4.71m (total of 1.1m) which would reduce the pitch of the roof. It is also proposed to extend the building further along the boundary by an additional 18m from what is currently 'on the ground' (26m ) to the proposed length of 44m. This increase in length would affect more residents than the previous scheme and where at the moment, the structure is sited opposite Nos 13-25 Fletcher Street, it is now proposed to extend the build along the boundary opposite Nos 5-11.

There are no set standards or approved statutory guidance for assessing separation distances and relationships between commercial development and residential properties. Commercial developments are assessed on their own merits and on a site by site basis.

In considering the revised siting, height and scale, the residents of Fletcher Street would still have a view of the building from their properties, particularly where the upper part of the building's elevation and the roof slope would be visible.

However, by setting the building away from the boundary by 8.6m, the proposed building would now be separated from the houses by 21.4m, having a much improved relationship to the houses on Fletcher Street, which would reduce the overall dominant and oppressive feeling which would be experienced by the residents.

The ground level of the site is higher than the ground level of the houses by approximately 1m. This application proposes an eaves height of 4.7m (a reduction of 1.1m from the

current built form). The eaves height of the proposed building would be lower than the houses by 1.4m and the ridge height of the building 1.4m higher than the eaves of the houses. This would reduce the massing and scale of the build when viewed by the affected properties and with the set back from the boundary this would also lessen the impact the impact of the building on these residents which would add to the sense of relief and space.

The total height of the build at 7.5m would be similar to that of a standard 2 storey residential property.

The building would be located due north of the residential properties and given the rotation of the sun, light to the rear of the properties would not be significantly affected.

The application proposes to introduce a strip of landscaping along the southern boundary of the site, comprising of 5 standard trees (Alder and Birch), in-between which would be shrubs which would soften the appearance of the commercial site and screen parts of the building's elevation.

A car preparation area to store cars prior to their treatment in the workshop would be located between the landscaping on southern boundary of the site and the proposed workshop. This area was used for customer parking. Whilst there may be more activity in this area as cars are manoeuvred in and out of the spaces to be taken into the workshop, it is considered that the use of this area comparative to a customer car park would not increase significantly to cause undue harm to the amenity of nearby residents.

It is therefore considered that the proposed development would be acceptable and would comply with EC6/1, S4/4 and EN1/2.

Noise - The application is accompanied by a Noise Impact Assessment which has been undertaken to identify the key sources of noise which would be associated with the use of the proposed extension, for car spraying and body repair works.

The Assessment concluded that within the context of the site surroundings and the proximity of the residential properties, as the predicted rated level of noise would only marginally exceed accepted levels of noise for this type of use in this locality, the operations within the body shop are considered sufficiently low enough to comply with 'No Observed Effect Level' and no noise mitigation measures would be required.

The Pollution Control Section have been consulted and they are broadly satisfied with the assessment that the activities and noise associated with the new workshop would not cause significant noise nuisance to those living nearby. However, the noise assessment relies on the doors of the workshop remaining closed in order to maintain the sound insulation performance of the building to reduce impacts at the closest residential receptors.

To enable this, a ventilation system would be required to the workshop. The Pollution Control Section would therefore expect the noise report to take account of the ventilation system which is likely to have tonal and possible intermittent characteristics. Actual noise from the development would need to be assessed to include the cumulative noise from the workshop and the ventilation system. However, the Noise Report states there are no specific details of the ventilation system and therefore the corrections for tonality, intermittency and impulsivity cannot be measured.

The Pollution Control Section have therefore recommended a condition that using the existing data from the noise assessment, a further noise survey should be carried out to determine the impact of the proposed ventilation system and the details shall be submitted to the Local Planning Authority. The ventilation system should not increase the existing ambient noise levels at the nearest noise sensitive receptor.

The information would be required prior to the first use and occupation of the workshop.

With regards to the current hours of the existing car showroom, the site can operate between the hours of 8am to 9pm Monday to Saturday and 10am to 5pm Sundays and Bank Holidays. The proposed use would involve machinery and equipment for the carrying out of car spraying and body repairs as well as the movement of cars in and out of the preparation area. It is therefore considered reasonable that the time of the operation of the workshop be limited to the hours of 8.30am to 6pm Monday to Friday, 9am to 4pm Saturdays and no working on Sundays and Bank Holidays

The site formally operated as a bus depot and there would have been a certain amount of day to day activity, noise and disturbance from frequent comings and goings of buses and vehicles both early morning and later in the evening.

In conclusion, it is considered that with the amendments to move the building away from the boundary to the houses on Fletcher Street and appropriate conditions for further noise assessments, control of the hours of use, and provision of a landscaping scheme, the proposed development would not have a significantly detrimental impact on residential amenity and would comply with UDP Policy EC6/1, EN1/2, EN7/2 and S4/4.

**Design and appearance** - The building would be for commercial purposes and of a standard workshop appearance which is typical for this type and character of development. The elevations and roof would be fully clad in insulated vertical profile wall panels in anthracite grey (mid-dark colour) which is commonly found within similar business and industrial areas in the Borough. The appearance of the building would also be improved with the set back from the boundary and the reduction in the height.

The site is located in an area of mixed uses of commercial, industrial, retail and residential where a mix of design and materials are prevalent and as such, the proposed design solution and materials are considered to be acceptable. The development would also be softened when viewed from Fletcher Street by the landscaping along the southern boundary.

It is therefore considered that on balance, with the amendments made to the height, with the re-positioning of the building and together with the landscape screening, the proposed development would be acceptable and comply with EC6/1 and S4/4.

**Highways** - In terms of parking, access and deliveries, the layout of the existing site would be re-configured to facilitate the siting of the proposed workshop.

For parking, the spaces which were located to the south of the showroom building on the footprint of the proposed extension would be re-located to the west and north of the main showroom building next to the existing parking areas which would include 7 disabled spaces and 5 EV charge points. There would be a net gain overall of 9 spaces for the site and as such the parking provision on site is considered to be acceptable.

All deliveries currently take place from the access into the site off Rochdale Road and this access would continue to serve both the car showroom, vehicle display area and proposed workshop. The proposed site plan shows a tracked delivery path into the site next to the entrance gates where cars would be delivered and unloaded and where there would be room to manoeuvre the vehicle such that it would exit the site in a forward gear out onto Rochdale Road. Deliveries would be from 8.30am to 6pm Monday to Friday and 9am to 4pm Saturdays which is considered to be reasonable and acceptable in this location.

The Highway Section have raised no objection to the proposed layout and are satisfied that subject to conditions there would not be a detrimental impact on Highway Safety.

The proposed development would therefore comply with Policies EN6/1, S4/4, HT2/4 and HT6/2.

## **Response to objectors**



- The works to the cars would take place and be contained within the proposed workshop and not in the car preparation area. The car preparation area would be used to store cars only. As such it is considered there would not be significant or detrimental impact on air quality or increase in air pollution.
- Reduction to the value of house properties is not a material planning consideration.
- All other issues raised by the objectors have been covered in the above report.

**Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings - Existing - Plans and elevations 101C; Proposed parking - Swept path for a car transporter 203H received 2/3/21; Proposed site plan 200M; Proposed parking (Landscaping plan) 205A; Proposed - plans 201I; Proposed elevations 202K; Revised Noise Assessment ref 20.178.1.R3 dated 8 March 2021 by Professional Consult; Revised Delivery Management Plan rev A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
  - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the

development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. The EV showed on the approved layout plan shall be implemented and made available for use within two months of the date of the permission. The EV charge points shall thereafter be maintained and available for use.

Reason. In accordance with the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life.

6. The use and development hereby permitted shall not be used outside the following times:

8.30am to 6pm Monday to Friday and 9am to 4pm Saturdays and there shall be no use of the development hereby approved on Sundays and Bank Holidays

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial development, EN1/2 - Townscape and Built Design and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.

7. Following the first use/occupation of the development hereby approved, the landscaping plan and scheme hereby approved shall be implemented within the first available tree planting season. All tree and shrub planting which form the approved landscaping plan shall be planted in the ground to the appropriate British Standard, BS4428:1989 Code of Practice for General Landscape Operations. For the avoidance of doubt, there shall be no potted container planting.

Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

8. Notwithstanding the timings of the deliveries stated in the Delivery Management Plan Rev A, the development hereby approved shall be carried out in accordance with the servicing arrangements and measures detailed in the approved 'Delivery Management Plan Rev A - 01/03/21', confirming the proposed routeing strategy, measures to route car transporter deliveries to the designated site access at Rochdale Road, and, specifically (for the avoidance of doubt):

- Customer access and parking via Derby Way;
- Staff access via York Street;
- Delivery of vehicles by articulated vehicle via Rochdale Road;
- Refuse vehicle access via Rochdale Road;
- No commercial vehicular deliveries via York Street;
- Deliveries not to be undertaken before 8.30am or after 6pm Monday to Friday and 9am to 4pm on Saturdays. There shall be no deliveries Sunday or Bank Holidays.

The 'Plan' and measures approved shall be implemented before the development is brought into use.

Reason. To ensure that adequate consideration is given to vehicle access and delivery management arrangements and service vehicle routing to/from the site, in

the interests of highway safety pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial development, EN1/2 - Townscape and Built Design, HT2/4 - Car Parking and New Development, HT6/2 - Pedestrian/Vehicular Conflict and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.

9. The turning facilities indicated on the approved plans and in the supporting information shall be provided before the development hereby approved is brought into use and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.  
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial Development, EN1/2 - Townscape and Built Design, HT2/4 - Car Parking and New Development, HT6/2 - Pedestrian/Vehicular Conflict and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.
10. The disabled persons, customer, staff & display vehicle parking indicated on the approved plans shall be surfaced, demarcated and made available for the intended respective uses prior to the use hereby approved commencing and thereafter maintained available for the intended respective uses at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial development, EN1/2 - Townscape and Built Design, HT2/4 - Car Parking and New Development, HT6/2 - Pedestrian/Vehicular Conflict and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.
11. The development hereby approved shall be carried out in accordance with a surface water drainage scheme which shall be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include provision of potential SuDS options for surface water drainage. The drainage scheme shall be implemented prior to first use of the development hereby approved and thereafter maintained.  
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
12. The car preparation parking area hereby approved shall be used for the storage of cars only and for no other purposes.  
Reason. To protect the residential amenity of the adjacent occupiers on Fletcher Street pursuant to Bury Unitary Development Plan Policies EC6/1 - Assessing New Business, Industrial and Commercial Development, EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution HT2/4 - Car Parking and New Development and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations
13. Prior to the first occupation and use of the development hereby approved, a further noise survey using the existing noise assessment shall be carried out to determine the potential impact of the proposed ventilation system and the details and results submitted to the Local Planning Authority.  
Following the submission of the results, where mitigation is required to ensure the proposed ventilation system shall not increase the existing ambient noise levels at the nearest noise sensitive receptor, a scheme shall be submitted to and approved by the Local Planning Authority. The approved scheme shall thereafter be implemented prior to the first occupation or use of the development hereby approved and thereafter be maintained whilst it serves the use.



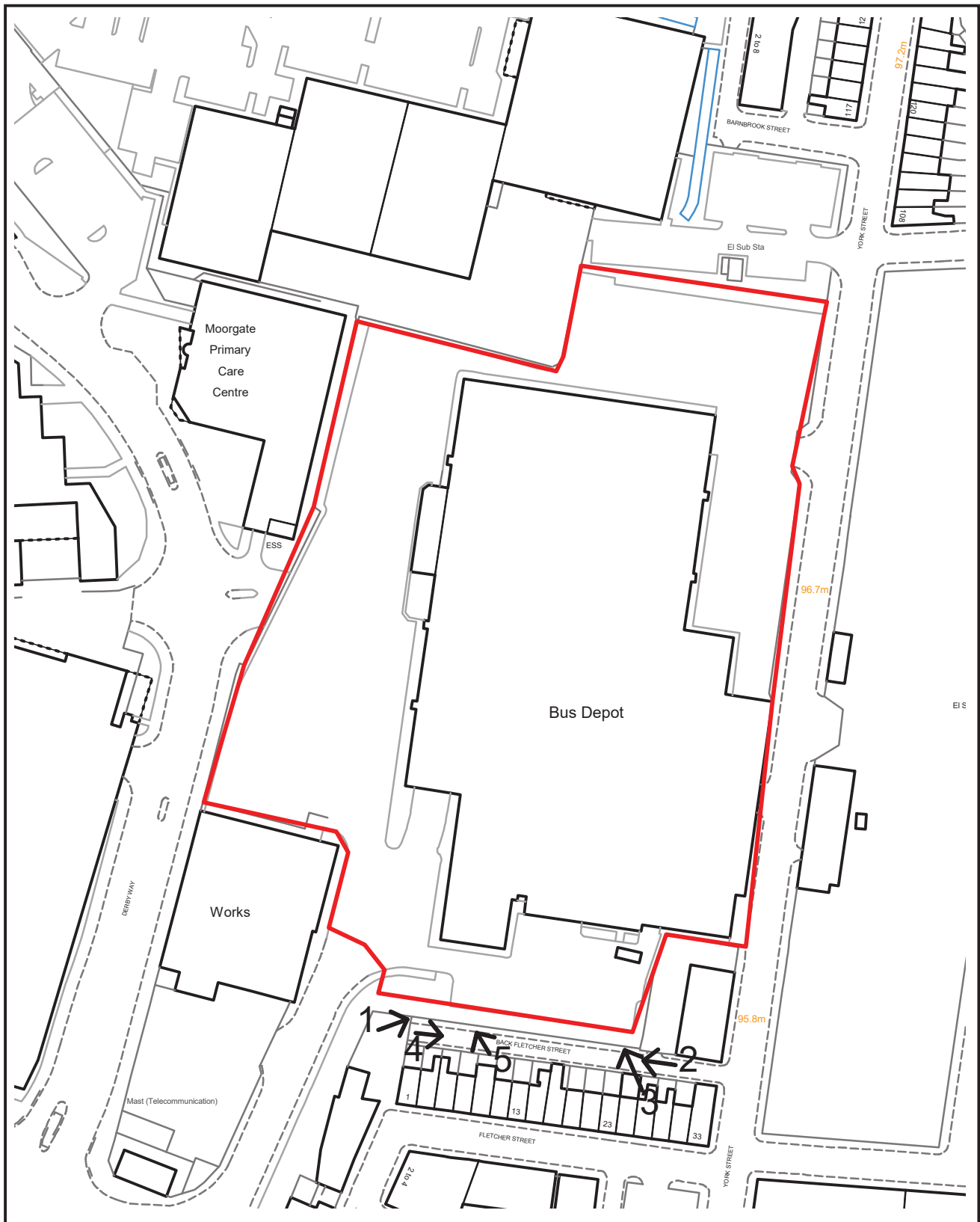
Reason. To protect the amenity of the occupants of the nearby residential properties pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial development, EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.

14. Other than for the transfer of cars in and out of the workshop, the service doors on the west elevation shall remain closed at all times.

Reason. In the interests of residential development pursuant to Policies EC6/1 - Assessing New Business, Industrial and Commercial development, EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and S4/4 - Car Showrooms, Car Sales and Petrol Filling Stations of the Bury Unitary Development Plan.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66058**

**ADDRESS: Omnibus Depot, 55 Rochdale Road  
Bury**

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**

**Bury**  
COUNCIL

66058

Photo 1



Photo 2





Photo 3



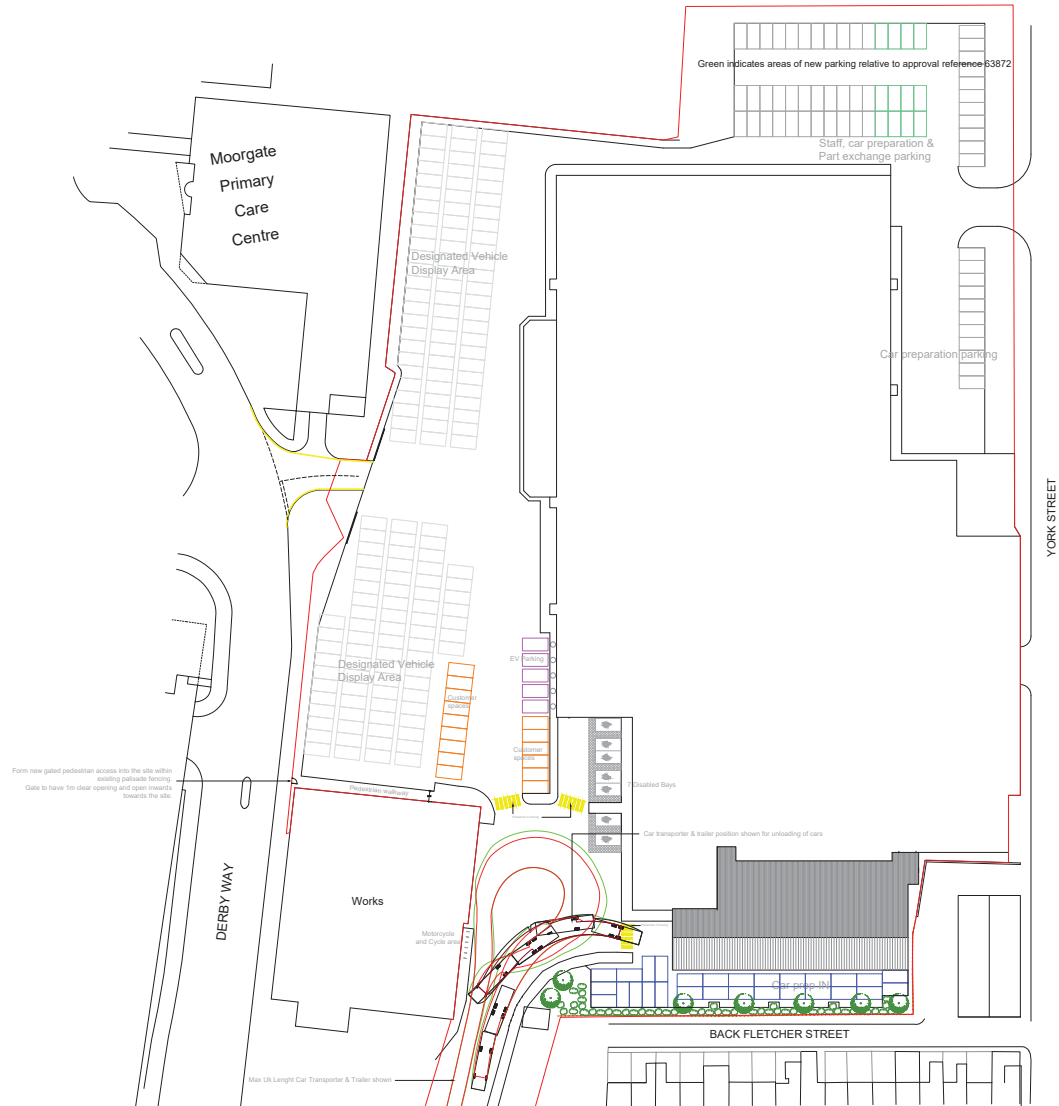
Photo 4



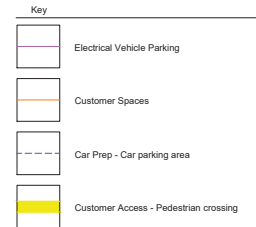


Photo 5





PARKING			DISABLED PARKING		
71	Number of previously approved car parking spaces as shown on approved application Ref 63872		10	Number of previously approved car parking spaces as shown on approved application Ref 63872	
15	Number of existing car parking spaces lost due to extension		5	Number of existing car parking spaces lost due to extension	
26	Number of additional spaces proposed		2	Number of additional spaces proposed	
81	Total Number of spaces proposed		7	Total Number of spaces proposed	

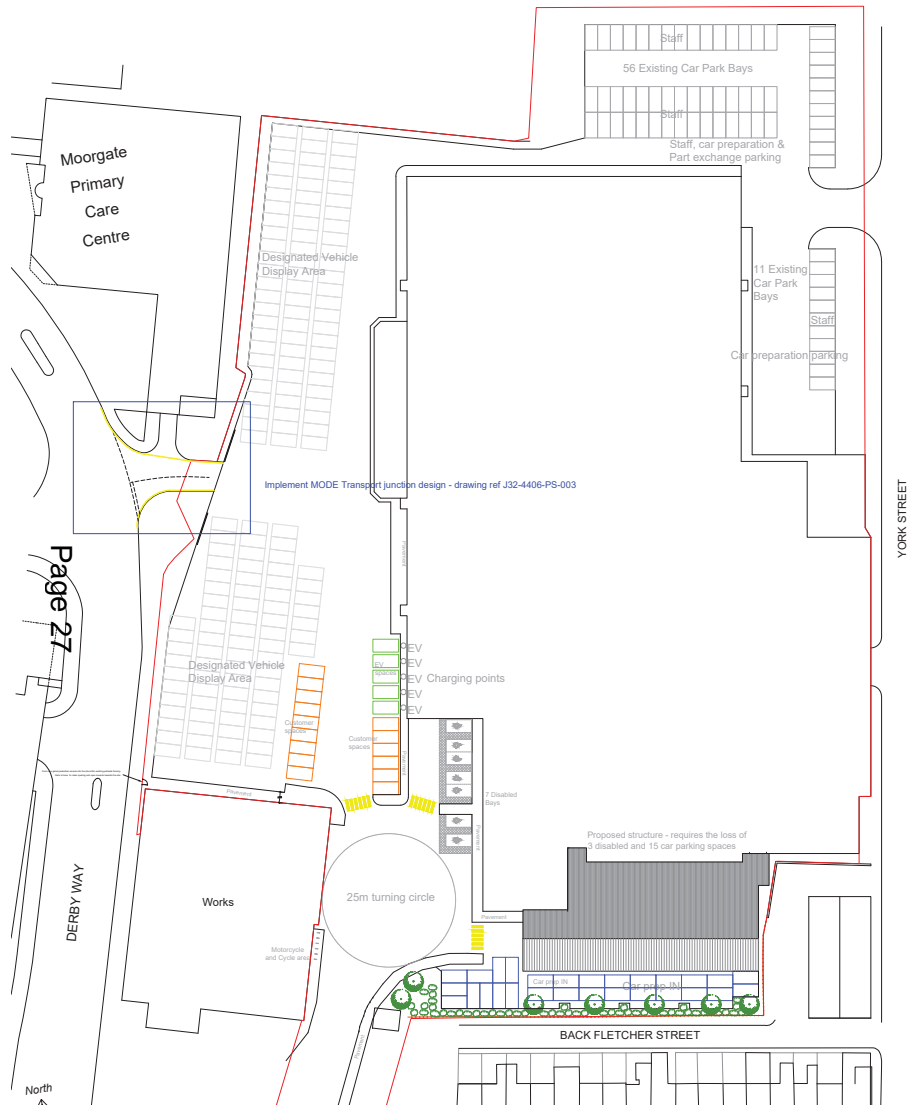


Site Plan 1:200

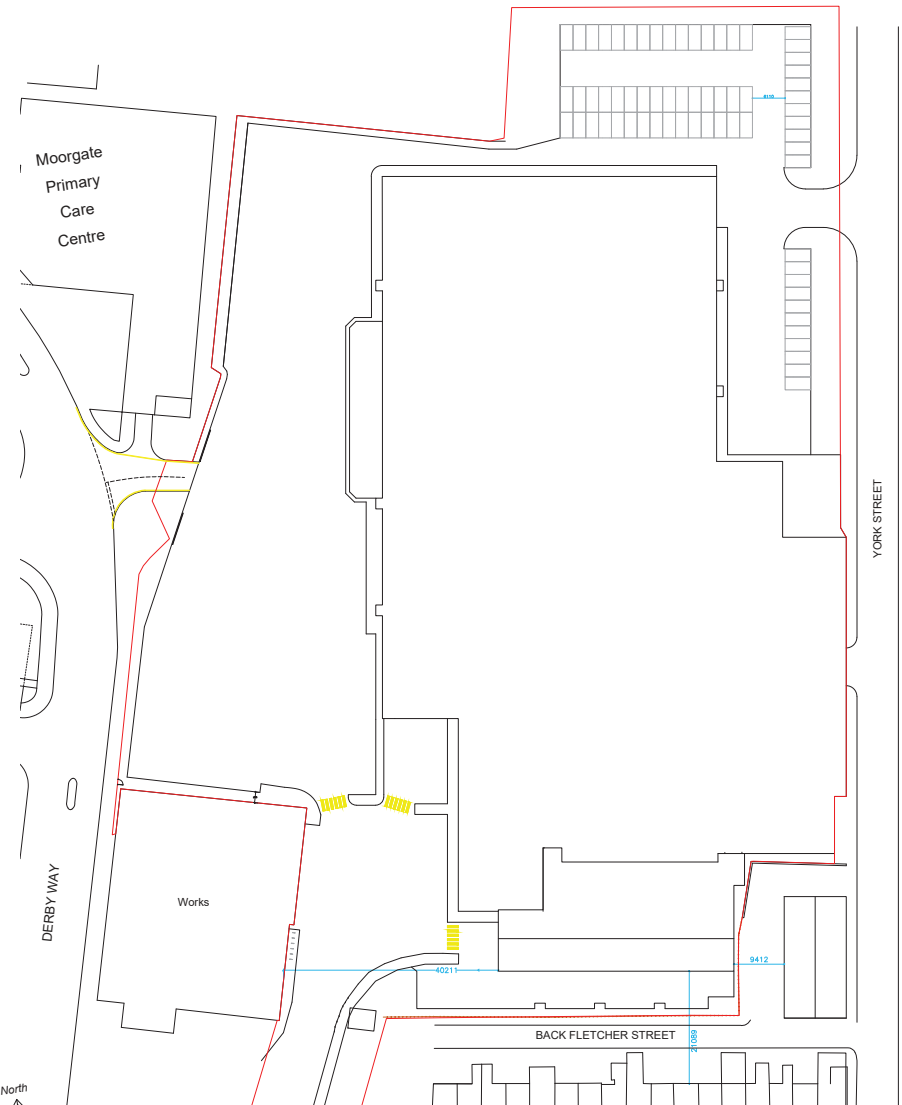
<b>NOTES</b>	
1. This drawing and the copyright and patents herein are the designers property and may be used or reproduced only under contract.	
2. Contractors and sub-contractors must check and agree all dimensions before preparing shop drawings or commencing work on site.	
3. Contractors are responsible for informing the Designer of any discrepancy discovered on this drawing or between this drawing and any other related documents issued in respect of the work.	
4. Written dimensions only are to be used from this drawing. If any doubt exist the contractor must ask for clarification. On no account must the contractor scale off the drawing.	
5. If no site investigation has been carried out prior to commencement of works, Contractor to make that false to the suitability of ground for proposed foundations.	
6. All work must be carried out in accordance with the current Building Regulations, Codes of Practice and British Standards. If any doubt exist the contractor must ask for clarification.	
7. All references refer to accompanying specifications.	
Schedules and commercial programs are available in the RDS under CDM 2015 if the construction work on site is scheduled to:	
a) Last longer than 30 working days and have more than 20 workers existing simultaneously at any point in the project, or	
b) Exceed 500 person days	

Drawing Title: Proposed Parking - Swept path for car transporter deliveries		A1	SCALE	DATE	JOB NO	DRG NO
			N/A	DEC 20	963	203H1
Site Address: The Car Group, 55 Rochdale Road, Bury, BL9 6JZ			11 Woodvale Crescent, Bingley West Yorkshire, BD16 4AJ Tel: 01274 317002 e mail: michael@madp.co.uk web: madp.co.uk			





Site Plan 1:500



Block Plan 1:500

NOTES

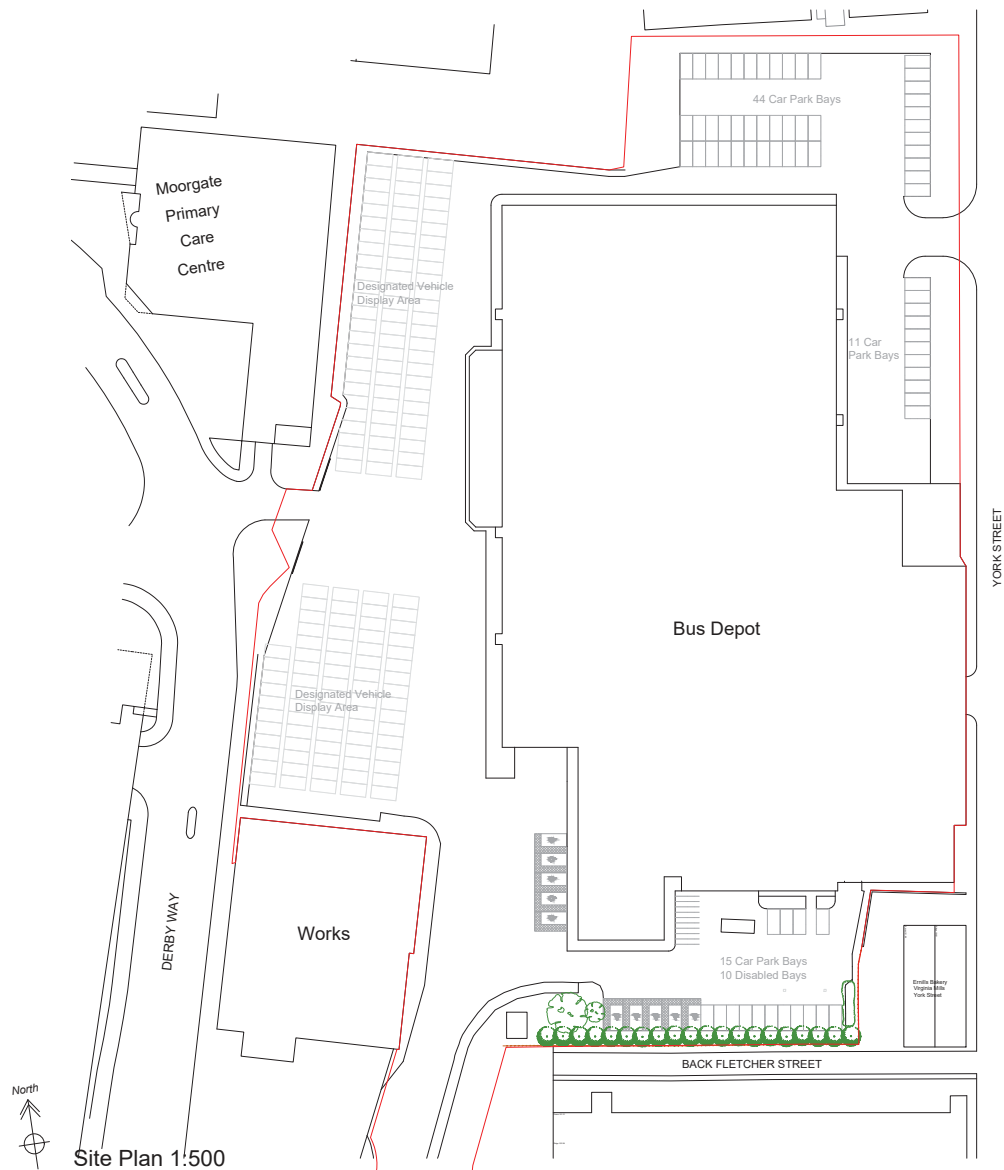
1. This drawing and the copyright and patents herein are the designers property and may be used or reproduced only under contract.
2. Contractors and sub-contractors must check and agree all dimensions before preparing shop drawings or commencing work on site.
3. Contractors are responsible for informing the Designer of any discrepancy discovered on this drawing or between this drawing and any other related documents issued in respect of the work.
4. Written dimensions only are to be used from this drawing. If any doubt exist the contractor must ask for clarification. On no account must the contractor make up the drawing.
5. If no site investigation has been carried out prior to commencement of works, Contractor to make that false to the satisfaction of the Designer.
6. All work must be carried out in accordance with the current Building Regulations, Codes of Practice and British Standards. If any doubt exists the contractor must ask for clarification.
7. All references refer to accompanying specifications.

Comments and contractual obligations are contained in the HWS order C026 2018. If the construction work on site is scheduled to:

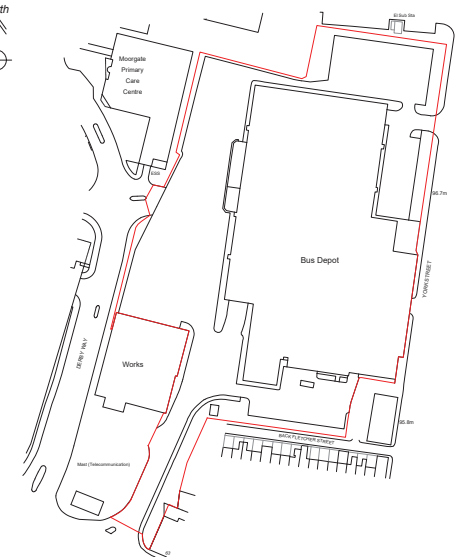
- a) Last longer than 30 working days and have more than 20 workers working simultaneously at any point in the project, or
- b) Exceed 300 person days

Drawing Title:	Proposed Site Plan	A1	SCALE	DATE	JOB NO	DRG NO
Site Address:	The Car Group, 50 Northgate Road, Bury, BL9 6JZ	N/A	DEC 20	963	20084	
11 Woodvale Crescent, Bingley West Yorkshire, BD16 4AJ Tel: 01274 317002 e-mail: michael@mcadp.co.uk web: mcadp.co.uk						





Site Plan 1:500



Location Plan 1:1250

NOTES			
1. This drawing and the copyright and patents herein are the designers property and may be used or reproduced only under contract.			
2. Contractors and sub-contractors must check and agree all dimensions before preparing shop drawings or commencing work on site.			
3. Contractors are responsible for informing the Designer of any discrepancy discovered on this drawing or between this drawing and any other related documents issued in respect of the work.			
4. Written dimensions only are to be used from this drawing. If any doubt exist the contractor must ask for clarification. On no account must the contractor scale off the drawing.			
5. If no site investigation has been carried out prior to commencement of works, Contractor to make that follow to the satisfaction of ground for proposed foundations.			
6. All work must be carried out in accordance with the current Building Regulations, Codes of Practice and British Standards. If any doubt exist the contractor must ask for clarification.			
7. All references refer to accompanying specification.			
SCHEDULES AND GENERAL CONDITIONS are available in the RDS under CDM 2015 if the construction work on site is scheduled to:			
a) Last longer than 30 working days and have more than 20 workers working simultaneously at any point in the project, or			
b) Exceed 500 person days			

Drawing Title:		A1	SCALE	DATE	JOB NO	DRG NO
Existing - Plans and Elevation			N/A	OCT 20	963	101C
Site Address:			11 Woodvale Crescent, Bingley			
The Car Group			West Yorkshire, BD18 4AJ			
55 Rochdale Road,			Tel : 01274 317002			
Bury			e-mail : michael@madp.co.uk			
BLJ 652			web : madp.co.uk			





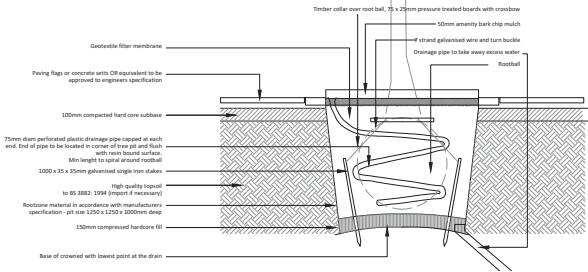
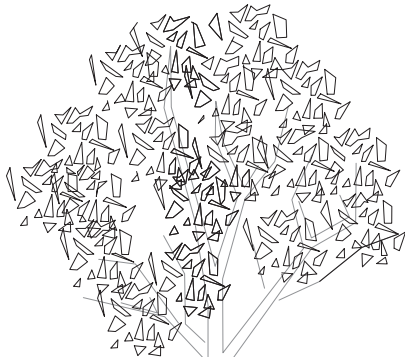
Planting Schedule									
Name	Abb	Height	Root	Container	Habit	Breaks		Density	Quantity
Shrub Mix A									
Cotoneaster horizontalis	Ch	30-40	C	3L	Bushy	3		1/1m2	nr
Cytisus x praecox 'Algid'	CpA	30-40	C	3L	Bushy	5		1/1m2	nr
Eucynonotus fortunei 'Emerald & Gold'	EEG	20-300	C	3L	Bushy	7		1/1m2	nr
Lavandula angustifolia 'Widcombe'	LH	20-30	C	3L	Bushy	5		1/1m2	nr
Juniper horizontalis 'Wittson'	JHW	30-400	C	3L	Branched	/		1/1m2	nr
Prunus laurocerasus 'Otto Luyken'	PLC	40-60	C	3L	Bushy	5		1/1m2	nr
Santalina chaamaeensis	Sc	20-30	C	3L	Bushy	7		1/1m2	nr
Viburnum davidii	VD	20-30	C	3L	Bushy	3		1/1m2	nr

Shrub Mix B									
Berberis julianae	Bj	30-40	C	3L	Bushy	3		4/1m2	nr
Berberis thunbergii 'Rose Glow'	BRG	30-40	C	3L	Branched	4		4/1m2	nr
Escallonia 'Donard Star'	EDS	40-60	C	3L	Bushy	4		4/1m2	nr
Hypericum hidcote	Hh	/	C	4L	Bush (budded)	Qual A		4/1m2	nr
Mahonia aquifolium 'Apollo'	MaA	30-40	C	3L	Branched	6		4/1m2	nr
Photinia x fraseri 'Red Robin'	PRR								nr
Spirea japonica 'Snowmound'	SsS	30-400	C	3L	Bushy	5		4/1m2	nr

Shrub Mix C									
Amelanchier lamarckii	Aj	60-80	C	3L	Branched	3		3/1m2	nr
Berberis darwinii	Bd	30-40	C	3L	Bushy	4		3/1m2	nr
Cornus sanguinea	Cs	40-60	C	3L	Branched	4		3/1m2	nr
Crateagus monogyna	Cm	60-80	C	3L	1+1 or 1/1	3		3/1m2	nr
Pachycandra terminalis	Pt	15-200	C	3L	Several shoots	9		1/1m2	nr
Rosa canina	Rc	/	C	3L	Branched	5		3/1m2	nr
Viburnum opulus	Vo	40-60	C	3L	Branched	4		3/1m2	nr

Name	Abb	Form	Age	Girth	Height (cm)	Clear stem	Root	Breaks	Density	Quantity
Trees										
Quercus (Oak Tree)	Q	Standard	2x	08-10	min 300	min 200	8b	/	Item	nr
Betula (Birch)	B	Standard	2x	08-10	min 300	min 200	8b	/	Item	nr
A glutinosa (Alder)	Ag	Standard	2x	08-10	min 300	min 200	8b	/	Item	nr

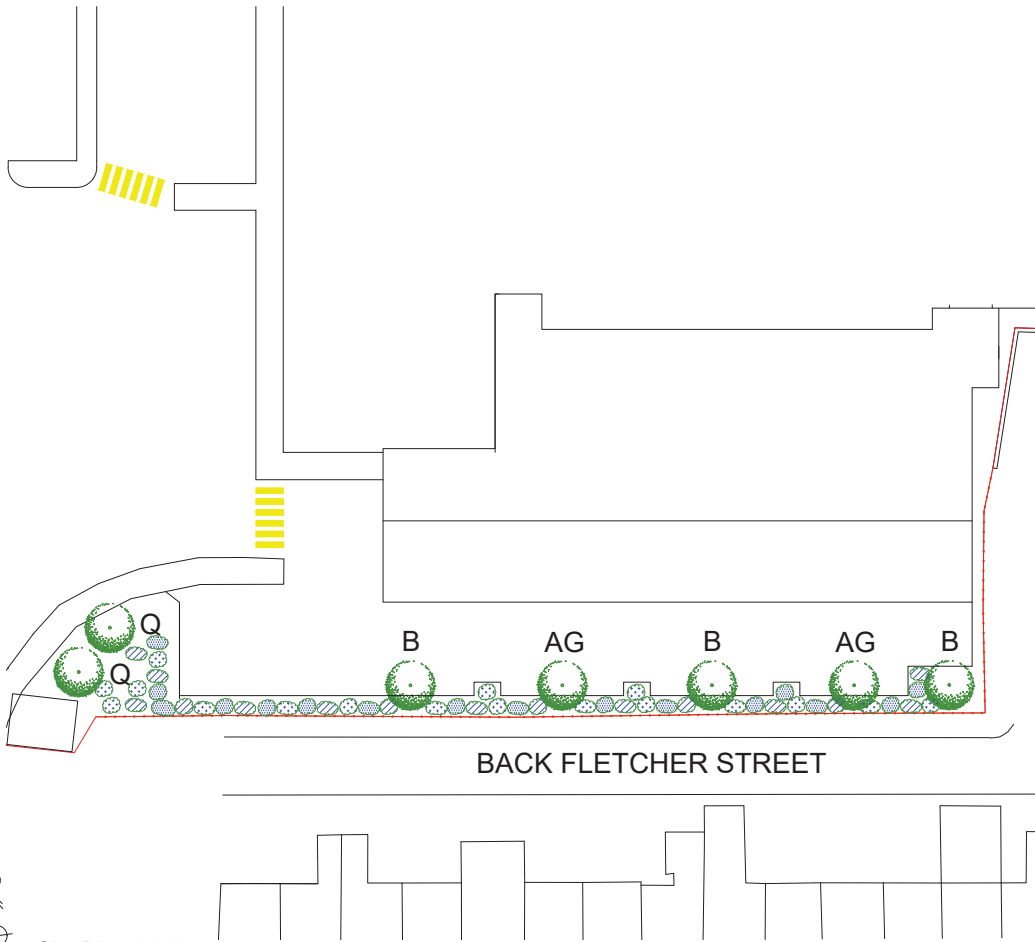
Page 29



Tree Pit Section 1:30



Site Plan 1:200



BACK FLETCHER STREET

#### LANDSCAPE SPECIFICATION

NOTE: All soft landscape works to be carried out in accordance with BS428:1989.

#### TOPSOIL

To be supplied and spread by the main contractor to the approval of the Landscape contractor, in accordance with BS 3882:2007. To be a natural sandy loam, of medium texture, with a pH between 5.5 and 7.8, not more than slightly stony and free of pernicious weeds. Subsoil to be well broken up prior to topsoiling to relieve compaction. Topsoil depths should be: Areas for Ornamental Shrub Planting: minimum 450mm.

Soil shall not be worked when wet/in wet weather

#### CULTIVATION

Weeds to be prevented from seeding or becoming established by applying a suitable herbicide and allowing the correct time to elapse, as directed by the manufacturer. Compacted soil to be broken up to a depth of 100mm, with any stones, grass tufts or rubbish larger than 50mm in any direction to be removed, leaving a regular and even surface. Suitable slow release fertiliser to be supplied and spread @ 50g/m2 to all planted areas.

#### SOIL AMELIORANT

Peat free compost to be spread over ornamental shrub beds @ minimum 50mm depth prior to cultivation.

#### TREES

All trees within shrub beds to be planted in separate pits in accordance with tree planting details. Trees to be balled with topsoil - tree planting compost 1:6 by volume. All plant material to comply with BS 3093 Part 1:1992, be obtained from a nursery certified by the HTA and transported to site in accordance with the HTA Plant Handling Guide, 1998. All trees to be planted to the original root collar and all trees not secured with an underground guying system should be single staked at an angle of 45degrees to perpendicular, secured with tie and spacer at a height not exceeding 1/3 of the tree height.

#### SHRUB PLANTING

All shrubs to be positioned as shown on the drawing and to the density and specification listed in the plant schedule. Planting holes to be 100mm wider than the root spread, have the base ground thoroughly broken up before planting and backfilled with compost. MIXES: To be arranged in groups of 3, 5 & 7 with no two groups of the same species touching.

#### NURSERY STOCK

All plant material to comply with relevant part of BS3096. Container grown plants shall have been growing in containers for at least one growing season, shall not be pot bound or weedy and shall be thoroughly watered several hours before planting. Bare root plants shall be bagged upon lifting and only removed from the bag immediately before planting. All plant stock sizes to be as specified in the accompanying schedule of planting.

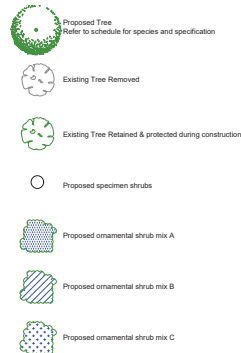
#### MULCH

75mm depth of 8-35mm ornamental bark mulch to be supplied and spread to all planting areas. Finished mulch level to be installed and maintained at 25mm below any adjacent kerbs or paving surfaces.

#### MAINTENANCE

The contractor shall be solely responsible for ensuring the continual healthy growth of the plants (12 months) and shall report to the employer any additional operations considered necessary to ensure the satisfactory maintenance and establishment of soft landscape areas.

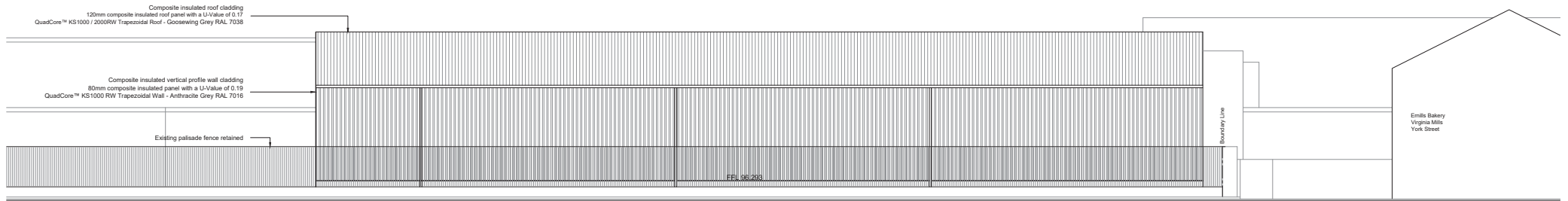
All planting areas to be maintained to a high standard for 12 months after practical completion. To ensure the landscape scheme is successful, and discourage decline of the area. The site is to be visited at minimum once per month. Any defects or plant losses occurring in the first 12 months to be replaced at the contractor's expense. All planting beds to be re-firmed and kept weed free through hand weeding and application of approved herbicide where appropriate. The specified thickness of mulch is to be maintained. The condition of all trees is to be regularly checked, with ties and stakes adjusted or replaced as necessary. Shrubs to be pruned at appropriate times of year to promote healthy growth and desirable ornamental features. All arisings to be removed.



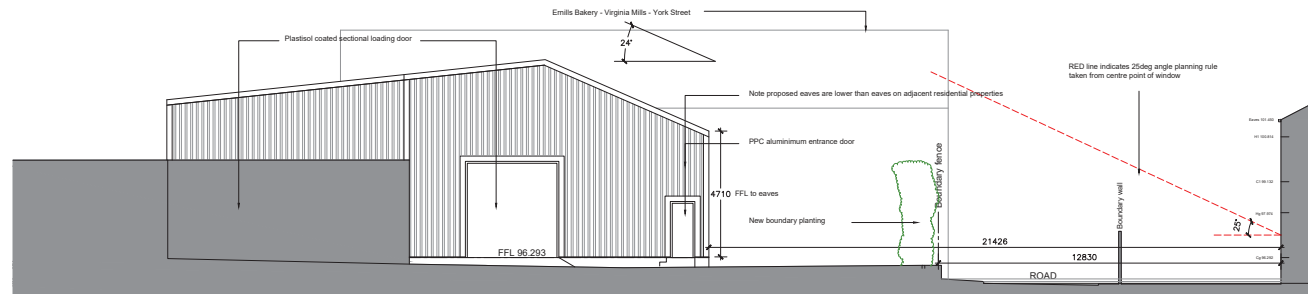
NOTES				
1.	This drawing and the copyright and patents herein are the designers property and may be used or reproduced only under contract.			
2.	Contractors and sub-contractors must check and agree all dimensions before preparing shop drawings or commencing work on site.			
3.	Contractors are responsible for informing the Designer of any discrepancies discovered on this drawing or between this drawing and any other related documents issued in respect of the work.			
4.	Written dimensions only are to be used from this drawing. If any shall exist the contractor must refer for clarification. On no account must the contractor scale off the drawing.			
5.	If no site investigation has been carried out prior to commencement of works, Contractor to make his/her own to the suitability of ground for proposed foundations.			
6.	All work must be carried out in accordance with the current Building Regulations, Codes of Practice and British Standards. If any doubt exists the contractor must seek for clarification.			
7.	All references refer to accompanying specifications.			
8.	Specimens and ornamental plants are available in the UK under BS5839:2015. If the construction work on site is scheduled to			
9.	Start longer than 30 working days and have more than 20 working months simultaneously at any point in the project, or			
10.	Exceed 300 years days			

Drawing Title:				
Proposed Planting				
Site Address:				
The Car Group, 50 Woodside Road, Bury, BL9 6JZ				
11 Woodside Crescent, Bingley West Yorkshire, BD16 4AJ Tel: 01274 317002 e-mail: michael@madp.co.uk web: madp.co.uk				

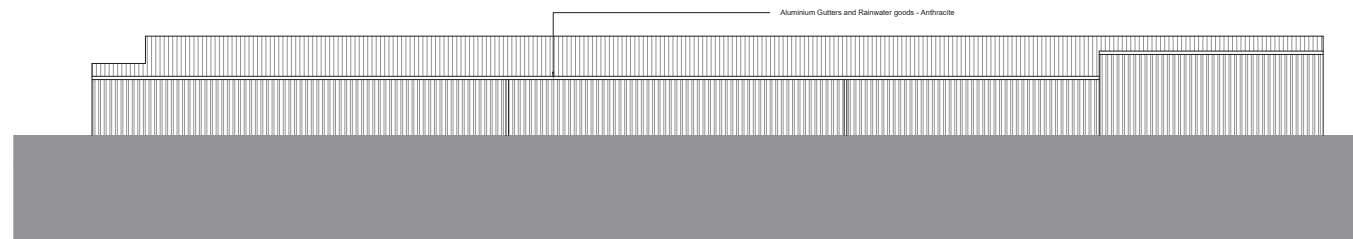




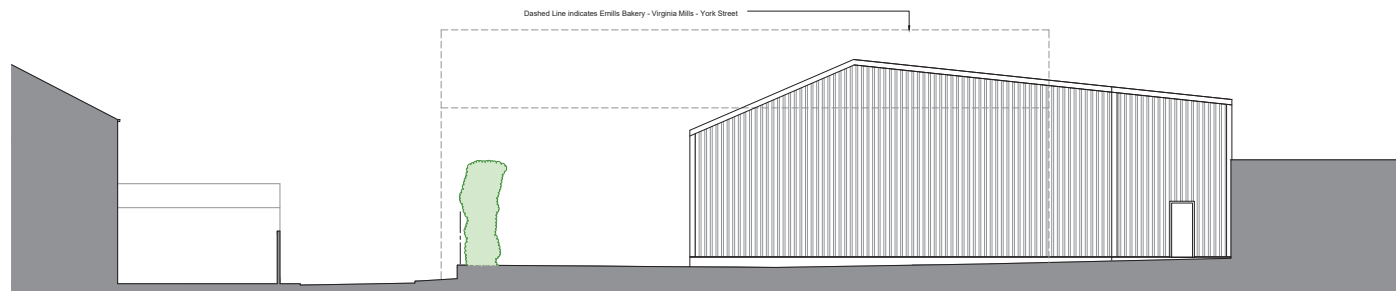
South Elevation 1:100



West Elevation 1:100



North Elevation 1:100



East Elevation 1:100

## MATERIALS

**WALLS:-**  
Composite insulated vertical profile wall cladding, Anthracite Grey RAL 7016

**ROOF:-**  
Composite insulated roof cladding, Goosewing Grey RAL 7016

**RWGS:-**  
Aluminium

**DOORS :-**  
Access Doors - PPC aluminium access door  
Loading bay door - Plastisol coated sectional loading doors

- NOTES**
1. This drawing and the copyrights and patents herein are the designers property and may be used or reproduced only under contract.
  2. Contractors and sub contractors must check and agree all dimensions before preparing shop drawings or commencing work on site.
  3. Contractors are responsible for informing the Designer of any discrepancy discovered on this drawing or between this drawing and any other related documents issued in respect of the work.
  4. Written dimensions only are to be used from this drawing. If any doubt exist the contractor must ask for clarification. On no account must the contractor make up the drawing.
  5. If no site investigation has been carried out prior to commencement of works, Contractor to make their own to the satisfaction of ground for proposed foundations.
  6. All work must be carried out in accordance with the current Building Regulations, Codes of Practice and British Standards. If any doubt exist the contractor must ask for clarification.
  7. All references refer to accompanying specifications.
- Copyright and commercial purposes are retained by the RICS under CDMA 2018 if the construction work on site is scheduled to:  
 (a) Last longer than 30 working days and have more than 20 workers working simultaneously at any point in the project, or  
 (b) Exceed 500 person-days

Drawing Title:	Proposed - Elevations	A1	SCALE	DATE	JOB NO	DRG NO
Site Address:	11 Woodvale Crescent, Bingley West Yorkshire, BD16 4AJ Tel: 01274 317002 e-mail: michael@madp.co.uk web: madp.co.uk	1:100	DEC 20	963	202K	



**Ward:** Radcliffe - North

Item 02

**Applicant:** Harworth Group

**Location:** Former Tarmac Building Materials Ltd, Stopes Road, Little Lever, Bolton, BL3 1NR

**Proposal:** Reserved Matters for means of access to the site (Bury Council) and outline planning application for the demolition of the existing structures on the site, and redevelopment of the site for a future residential development of up to 132 no. dwellings and associated public open space, with all matters reserved except for access (Bolton Council)

**Application Ref:** 66064/Outline Planning  
Permission

**Target Date:** 13/01/2021

**Recommendation:** Approve with Conditions

### **Description**

The development site comprises the former tarmac business operation which is located in the jurisdiction of Bolton Council but is accessed directly off the unclassified part of Stopes Road which is within the Bury Borough. The development site is approximately 6.23 hectares and comprises buildings and structures reflective of its former use as a concrete block manufacturer and aggregate recycling and storage operation. At the entrance to the site is a single storey building that previously accommodated the administrative functions.

To the east of the access road into the site and directly adjacent to the site access is a restaurant and 2 dwellings on Stopes Road and opposite is a depot and distribution yard. These properties are in the Bury boundary. To the south of the access and the southern leg of Stopes Road is a builders yard, dwelling and public house. These are within the Bolton Boundary.

Stopes Road has an unusual arrangement in that there are two parts to the road. The 'unclassified' part of Stopes Road it is an off-shoot from the main 'classified' A6053 Stopes Road and forms a loop. The access to the site is off the 'unclassified' Stopes Road which has been blocked off at the eastern end so that all traffic accessing the unclassified Stopes Road is from the junction at its southern end.

An application has been submitted to Bolton Planning Authority in tandem for the redevelopment of the former tarmac works site for a residential development of circa 140 no dwellings together with public open space.

As a neighbouring Authority, Bury were notified of the development by an Article 18 Consultation from Bolton Planning Authority on 17/9/20 which asks Bury to provide any comments on the proposed development at the site.

On assessing the Article 18 application, Bury Council determined that the land required to access the site would be within the Bury administrative area.  
NPPG Paragraph: 024 Reference ID: 14-024-20140306 states that the red edge of the application site should include all the land necessary to carry out the proposed development (including land required to access the site from a public highway, visibility splays, landscaping, car parking and open areas around buildings).

The development would clearly straddle the boundary and as the means of access is required to be considered, and that Bolton Council did not have the jurisdiction to determine

the means of access, a tandem application would need to be submitted to Bury alongside Bolton to apply for the means of access only.

This application is a result of the above response and seeks full approval from Bury LPA for the access to the development site. The application under consideration by Bolton seeks outline planning approval for the demolition of the structures on site and its re-development for 140 no. dwellings with associated public open space.

The area around the entrance to the site is formed of different surfacing, part tarmac, part block paved and part defined kerb edgings. There is a pedestrian footway of varying degrees along most areas of Stopes Road, although this too is formed of irregular surfaces in parts.

The proposed access would be from the existing entrance to the site with improvement works to form dropped kerbs and tactile paving either side of the site entrance at the unclassified Stopes Road/A6053 Stopes Road junction.

In terms of an emergency access to the site, it is proposed to provide a secondary access off Stopes Road to the south of the main site entrance. In addition, it is also proposed to provide an emergency access via the eastern end of the unclassified Stopes Road which would be re-opened to provide a 3.5m to 4m wide emergency access with a drop kerb. The access would be controlled by a collapsible or retractable bollard. This route would only be used if the main entrance to the site was blocked or inaccessible in the event of an emergency.

### **Relevant Planning History**

65940 - Article 18 consultation from Bolton Council (ref 09246/20) - Outline planning application for demolition of existing structures and erection of up to 140 no. residential dwellings with associated public open spaces (access details only) - Raise Objections - 1/10/20

#### Bolton

09616/20 - Outline planning application for demolition of existing structures and erection of up to 140 No. residential dwellings with associated public open spaces (access details only) - Current application

09246/20 - Outline planning application for demolition of existing structures and erection of up to 140 No. residential dwellings with associated public open spaces (access details only) - Withdrawn - 15/10/20

### **Publicity**

Letters sent on 20/10/20 to 156 properties. A full list of those consulted within Bury and Bolton boundaries can be found on the public file.

Site notice posted 2/11/20.

Press advert in the Bury Time 29/10/20.

Four responses received from 3 addresses

102 Stopes Road

- Support the application and think that it will enhance the area and remove what was a bit of an eyesore of an industrial plant.
- But would draw attention to the fact that a drainage culvert runs directly under the proposed development. This drains away water from the fields to the East of the development behind the houses on Stopes Rd, Radcliffe. The last time this collapsed under the site the fields flooded and water was within 8m of the houses. Tarmac were ordered by Bolton council to fix the culvert. Which they did in a timely and no problems with flooding since.
- Hope there are no plans to open up the top of the road where the pumping station now

sits as I feel this is unnecessary as there is already adequate access via the junction onto Stopes Road near the Stopes Tavern Public house.

#### 471 Bolton Road

- On the whole I am in favour of the development of a brownfield site.
- However, when this project goes ahead potentially there could be in excess of 140 new vehicles using the surrounding roads.
- The roundabout at the junction with Bolton Road, Stopes Road, Milton Road and Countess Lane is a hazard and there are often accidents here.
- The safer option would be to put traffic lights here.

#### 10 Stopes Road

- I have no objection to the building of new homes on this brown field site. However I do have concerns regarding the increase in the number of vehicles using not only Stopes Road but also Bolton Road towards Radcliffe centre. Stopes Road is in reasonable condition but the road surface on Bolton Road is in a bad way and any increase in traffic will have a detrimental impact. Both roads are very busy and the road surface needs to be maintained to a higher level.
- I also have concerns the extensive tree cover between the houses on Stopes Road and Bexhill Close. We need preserve the trees we have and in fact where possible plant more and only remove any existing trees when absolutely necessary.

#### 102 Stopes Road

- Why are they now looking at providing an additional access point at the top of the Stopes Road Cul De Sac for emergency vehicles. The emergency services made no comments that they needed this and it looks like an underhand way of providing additional access to the proposed development. What is going to stop any car using the access and turning the street into a rat run. It has already been stated that there is more than adequate access to the site from the existing Stopes Road junction. I strongly object to this extra access point and why has this proposed change not been communicated to the residents of Stopes Road.

Plans received to show the proposed access and emergency access arrangements into the site and proposed emergency access arrangements from the east end of Stopes Road. Amended letters sent to 29 properties.

No further responses received.

#### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections. Conditions to be reported in the Supplementary agenda

**The Coal Authority** - No objection subject to a condition for the undertaking of a scheme of intrusive site investigations at reserved matters stage.

**Greater Manchester Ecology Unit** - No objection subject to conditions

**Transport for Greater Manchester** - Provide comments in an advisory role only.

**Borough Engineer - Drainage Section** - No objection

**Environmental Health - Contaminated Land** - No objection.

**Electricity North West Ltd** - Development is close to ENW equipment. Recommend advisory to the applicant.

**Bolton MBC** - No objections.

**Cadent Gas Ltd (formerly National Grid)** - Advisory note to the applicant.

**Fire Protection Dept Bury Fire Station (Part B)** - No response received to date

**Environment Agency** - No objection subject to conditions

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions

#### **Unitary Development Plan and Policies**

NPPF      National Planning Policy Framework

H1/2      Further Housing Development

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN5/1	New Development and Flood Risk
EN6/3	Features of Ecological Value
HT2/1	The Strategic Route Network
HT2/3	Improvements to Other Roads
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
HT4	New Development
OL1	Green Belt

## Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle of the proposed development site** - The principle of the residential development is within the jurisdiction of Bolton Planning Authority for determination.

For the purposes of this application, the site access only is under consideration by Bury LPA.

## Highways issues

Access - The existing site entrance would be utilised and enabling and improvement works would be carried out to provide an access and egress arrangement, with dropped kerbs and tactile paving provided either side to form a pedestrian footpath.

The application has also considered improvements to the existing footways along the unclassified Stopes Road which leads to the site. Dropped kerbs and tactile paving would be provided at the unclassified Stopes Road/A6053 Stopes Road junction. From the east route along the unclassified Stopes Road, the pedestrian footpaths have been assessed as already providing adequate pedestrian movement and there are no proposals to undertake any improvement works to this stretch of footway or road.

The Highway Section have assessed the extent of the access works proposed and are satisfied that the access arrangements and associated works would be acceptable for the scale of the residential development, subject to the agreement of detailed matters which can either be covered by conditions and/or within works which would form part of the s278 agreement with the Highway Authority.

Emergency access - It is proposed to provide an emergency access to the site, which would be located just south of the main access to the site off Stopes Road. A dropped kerb would be formed and remedial works carried out to the footway to facilitate access for an emergency vehicle.

In addition, it is also proposed to provide an emergency access to the site at the eastern end of the unclassified Stopes Road which is currently stopped up. This route would only be used if the route from the south and the main site access were unavailable or inaccessible at the time of an emergency. Part of this former access would be re-opened and a drop kerb and footpath widening works would provide a route of between 3.5m and 4m. Access would be controlled by some form of retractable or collapsible bollard if considered necessary. Again, this would be controlled by a suitably worded condition or



works to form part of the s278 agreement.

The general arrangements demonstrate that a suitable access can be provided without impacting negatively on the operation of the adjacent businesses and access rights.

The Highway Authority are satisfied with the level of detail provided and have raised no objections in principle to the proposed access arrangements subject to conditions which will be recommended in the Supplementary Agenda.

A Fire Service response will be reported in the Supplementary Agenda.

Traffic generation - The scale of the proposed development would generate traffic to the area and particularly Stopes Road and the nearby junctions.

A Transport Assessment has been submitted with the application which has calculated that approximately 30 additional trips in the weekday morning peak hour and 40 additional trips in the evening peak hour comparative to the permitted use of the site. This would equate to less than one additional movement per minute.

Transport for Greater Manchester (TfGM) have reviewed the development proposals and the Transport Assessment.

TfGM have raised no objections to the principle of the proposal and have commented that the LPA's Highway Authority may want to consider the need that further assessments of estimated traffic flows and junction impacts be carried out.

The Applicant has clarified the estimated trip ratio at the site access junction, concluding additional trip generation would not be significantly adverse at this part of the highway. In their assessment of the Stopes Road junctions, it is estimated that in a worst case scenario, at peak PM time, arrivals from the east and west would increase traffic by 32 vehicles every 4 mins (8 vehicles every minute).

The Local Highway Authority has reviewed the Transport Assessment and in appraising the scale and location of the development proposed, consider that the nearby junctions and carrying capabilities of the highway would continue to operate satisfactorily without significant impacts on the highway network. No additional surveys would be required

It should also be borne in mind that the site has an extant use as an industrial/manufacturing employment use which could in itself generate significant volumes of traffic and more heavier goods vehicles on an unrestricted basis.

In taking into account these factors and appraising the scale of the development proposed, the location of the site and volume of traffic which would be generated, it is considered that the nearby junctions and highway network would be able to operate satisfactorily and there would be no objections from the Highway Authority.

As such, the proposed development to provide the access to the site would be acceptable and would comply with UDP Policies H1/2, H2/1, EN1/2, HT2/1, HT4 and HT6/2 and the principles of the NPPF.

### **Environmental Health - Air quality**

#### Adequacy of the Construction Phase - Air Quality Assessment

The IAQM guidance provides details of highly recommended and desirable mitigation measures which are commensurate with the risk of dust impacts defined in for construction, earthworks and track out activities. Where the mitigation measures are general in nature, the highest risk category was applied in accordance with the guidance. The highest risk category identified was 'High Risk' and the relevant recommended mitigation taken from the IAQM guidance is proposed, to include a Dust Management Plan.

This assessment is acceptable to the Section.

### Adequacy of the Operational Phase Road Traffic Emissions Screening Assessment

The trip generation of the proposed development was screened using IAQM and EPUL criteria to determine whether a detailed air quality assessment was required. The trip generation is predicted to be 651 trips as a 24 hour Annual Average Daily Traffic (AADT) flow. The Transport Consultants advised that the traffic would be flowing east and west in similar numbers, therefore, no single road link would experience an increase in numbers above Stage 2 criteria. Consequently, the impact was considered insignificant and a detailed air quality assessment was not undertaken.

The EH Section have found the Air Quality Assessment to be acceptable.

Conditions are recommended for the provision of EV charging points for each residential unit and for a scheme to minimise dust emissions to be submitted. As the development for the dwellings is outside the Bury Borough, conditions relating to the provision of EV charge points would be a matter for Bolton LPA.

Dust controls measures, especially during construction would be required and therefore included as a condition.

**Environmental Health - Contaminated land** - The Section are satisfied that as the development proposed in Bury would only relate to the access and would not require intrusive ground works, there would be no requirement for conditions in this respect.

**Environment Agency** - No objection in principle. Conditions would not be relevant to facilitate the access to the site.

**Drainage** - An indicative Drainage Strategy for the site has been submitted which demonstrates that surface water would be directed away from Stopes Road and therefore not cause run-off onto the highway.

The Drainage Engineer is satisfied with the principle of the proposals and has raised no objection. A condition would be included for the submission of details of a scheme for approval.

**Cadent** - Cadent have identified apparatus in the vicinity of the development. An advisory note to the applicant to contact cadent in relation to the development would be included as part of the grant of a consent.

**Coal Authority (CA)** - The application site falls within the defined Development High Risk Area; therefore within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of this planning application.

The Coal Authority records indicate that within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of this planning application, specifically both actual and probable shallow coal mine workings and probable shallow coal mine workings associated with thick coal seam outcrops. Records also indicate the presence of seven recorded mine entries (shafts), within, or within close proximity of the planning boundary.

The Coal Authority notes that the planning application is accompanied by a Coal Mining Risk Assessment dated 9 September 2020 prepared for residential development at this site by Hydrock Consultants Ltd. The Assessment has been informed by an appropriate range of sources of information.

Based on this review of available information, the report author concurs with records and considers that currently, the site is at risk from coal mining legacy (stability and safety) and that this could significantly impact on the development proposed. Therefore, in order to mitigate the risk and to design the required remedial and / or mitigation measures to



ensure that the development will be safe and stable, recommendations have been made that intrusive ground investigation works are required in order to determine the geological and mine setting beneath / within the site. The CA welcome the comments made that the mine entries will be located in order to confirm their condition that will inform the scheme of remedial measures required and the subsequent future development layout.

As part of the investigations, the CA would also expect the depth to rockhead adjacent to these mine entries to be established in order that the applicant's technical consultants can calculate the zone of influence (no build exclusion zone) of all mine entries found present within or within influencing distance of the site to inform the layout of the development. The applicant should make every effort to design the detailed development proposal in a manner that avoids construction over or within influencing distance of these specific mining features.

Based on the above, the Coal Authority considers that an adequate assessment of the coal mining risks associated with this site has been carried out (as required by the NPPF paragraph 178 - 179). In order to ensure that sufficient information is provided by the applicant to demonstrate to the LPA that the site is safe and stable for the development proposed and consider the imposition of planning conditions that cover the issues are included.

The Coal Authority has recommended that prior to the submission of the reserved matters application, a scheme of intrusive site investigations be carried out to assess the ground conditions on the site and establish the risks posed to the development by past coal mining activity (shallow mining / mine entries), together with the submission of a report of findings arising from the intrusive site investigations and any remedial and / or measures necessary.

Prior to the commencement of development, the necessary works are to be implemented.

Whilst it is understood the proposed development would involve provision of the access only, as the access is within the defined High Coal Risk Area, the Coal Authority consider the conditions are relevant.

**Ecology** - Greater Manchester Ecology Unit have been consulted on the application and the response are in line with those provided to Bolton Council.

An Ecological Impact Assessment (EcIA) Report (Tyler Grange 13010\_R03 September 2020) has been submitted as part of the application.

The recommendations from GMEU to address ecological issues all relate to the development site itself and do not relate to the access into the site.

As such the conditions recommended by GMEU are not relevant to this application for the access and would be dealt with under the jurisdiction of the Bolton Planning Authority.

**Electricity North West** - The development is shown to be adjacent to or affect Electricity North West's operational land or electricity distribution assets. Where the development is adjacent to operational land the applicant must ensure that the development does not encroach over either the land or any ancillary rights of access or cable easements. If planning permission is granted the applicant should verify such details by contacting Electricity North West.

An advisory to the applicant would be included as an informative.

**Response to neighbour representations -**

- Concerns regarding the traffic generation, impacts on the highway network and road surfacing have been considered by TfGM and the Highway's section. No objections have been raised subject to the imposition of conditions.
- The representation from No 102 Stopes Road is considered to be a comment relating

to the drainage conditions on the site and past issues of flooding from a collapsed culvert within the development site itself. A condition for drainage details would be included.

- The proposed access from the far eastern end of Stopes Road would be for emergency purposes only. Access to this route would be controlled by some form of retractable or collapsible bollard if necessary. This route would not be for regular traffic and there would be no increase in traffic to this part of Stopes Road.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. Applications for approval of reserved matters must be made not later than:
  - the expiration of three years beginning with the date of the grant of outline planning permission; and
  - that the development to which the permission relates must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004

2. Before the development is commenced, the applicant shall submit detailed plans and particulars to the Local Planning Authority, and obtain their approval under the Town and Country Planning Acts, of the following reserved matters; the layout, scale, appearance and the landscaping of the site.

Reason. To ensure the satisfactory development of the site and because this application is in outline only.

3. This decision relates to drawings numbered -  
Site location plan HAR001LP01/Rev B; Topographical survey sheets 1-4, reference 55335\_01\_01 to 55335\_01\_04; Constraints plan HAR001CP01 Rev D; Parameters plan HAR001PP01 Rev G; Proposed site access VN201653-D108 Rev A; Proposed emergency vehicle access arrangement VN201653-D104; Emergency Vehicle Strategy Plan VN201653-D107 Rev A  
and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

4. No development shall commence unless and until a scheme to minimise dust emissions has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of all dust control measures and the methods to monitor emissions of dust arising from the development. The development shall be implemented in accordance with the approved scheme with the approved dust control measures being retained and maintained in a fully

functional condition for the duration of the development hereby approved.

Reason. Information not submitted at application stage. The information is required to reduce the impacts of dust disturbance from the site on the local environment, pursuant to chapter 11 of the NPPF - Conserving and enhancing the natural environment.

5. No development shall commence unless and until the following has been carried out -
  - a scheme for the undertaking of intrusive site investigations, designed by a competent person and adequate to properly assess the ground conditions on the site and establish the risks posed to the development by past coal mining activity (shallow mining / mine entries) has been submitted to and approved by the Local Planning Authority.
  - the submission of a report of findings arising from the intrusive site investigations and any remedial and / or measures necessary, including the submission of the proposed layout plan which identifies the location of any on-site mine entries (if found present) including appropriate zones of influence for all mine entries, and the definition of a suitable 'no-build' zone;
  - The implementation of any remedial works required to an approved timetable.

Reason. The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework
6. No development shall commence unless and until details of a drainage scheme has been submitted to and approved by the Local Planning Authority. The scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.

Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**





Production Date: 08 Apr 2021

Scale 2834

when printed at A4

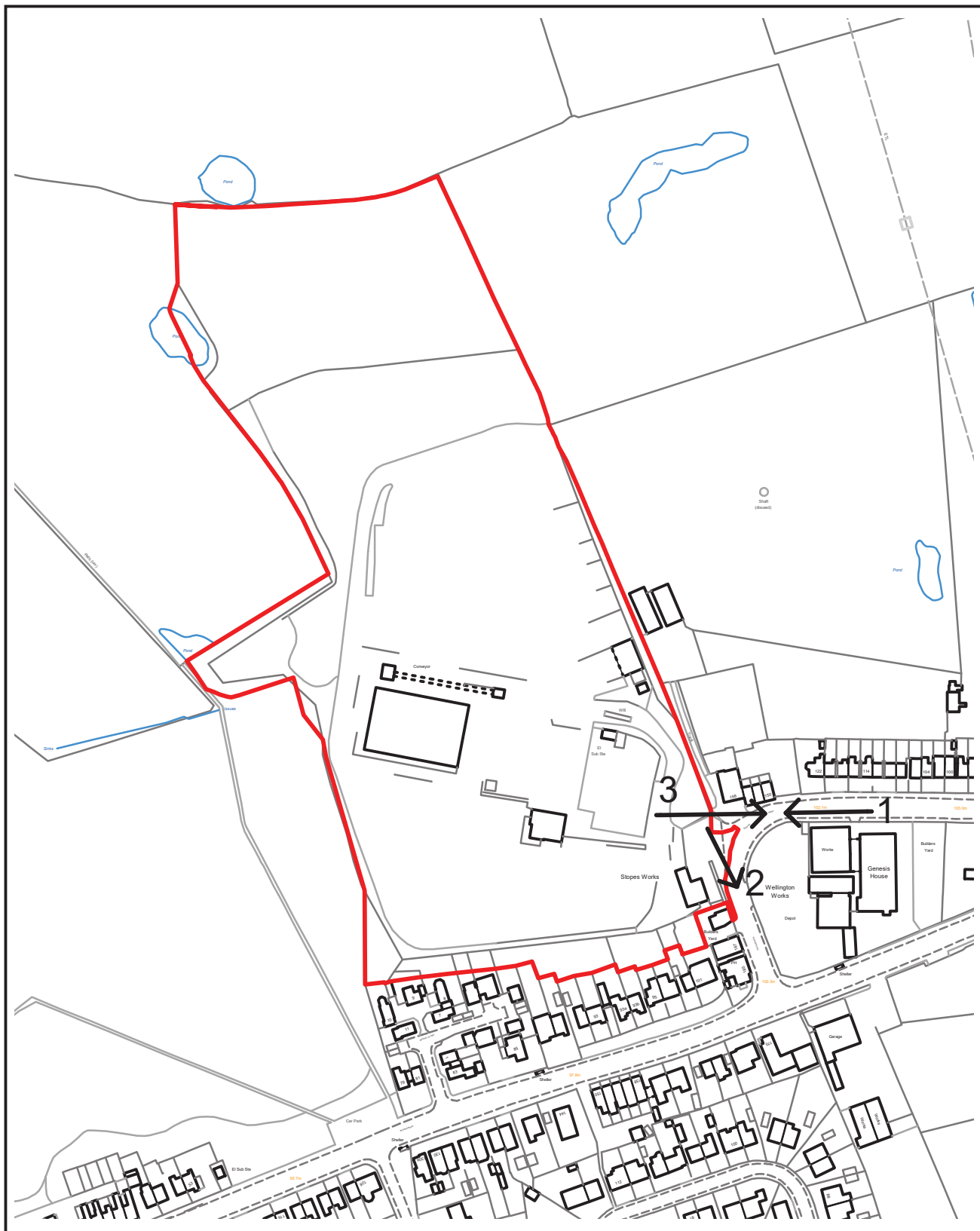
© Bury Council 2021

WML Update 18-07-2017

© Crown Copyright and Database Rights 2021. OS 100023063.

Notes

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66064**

**ADDRESS: Stopes Road, Little Lever  
Bolton**

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



**Bury**  
COUNCIL



Plan 1

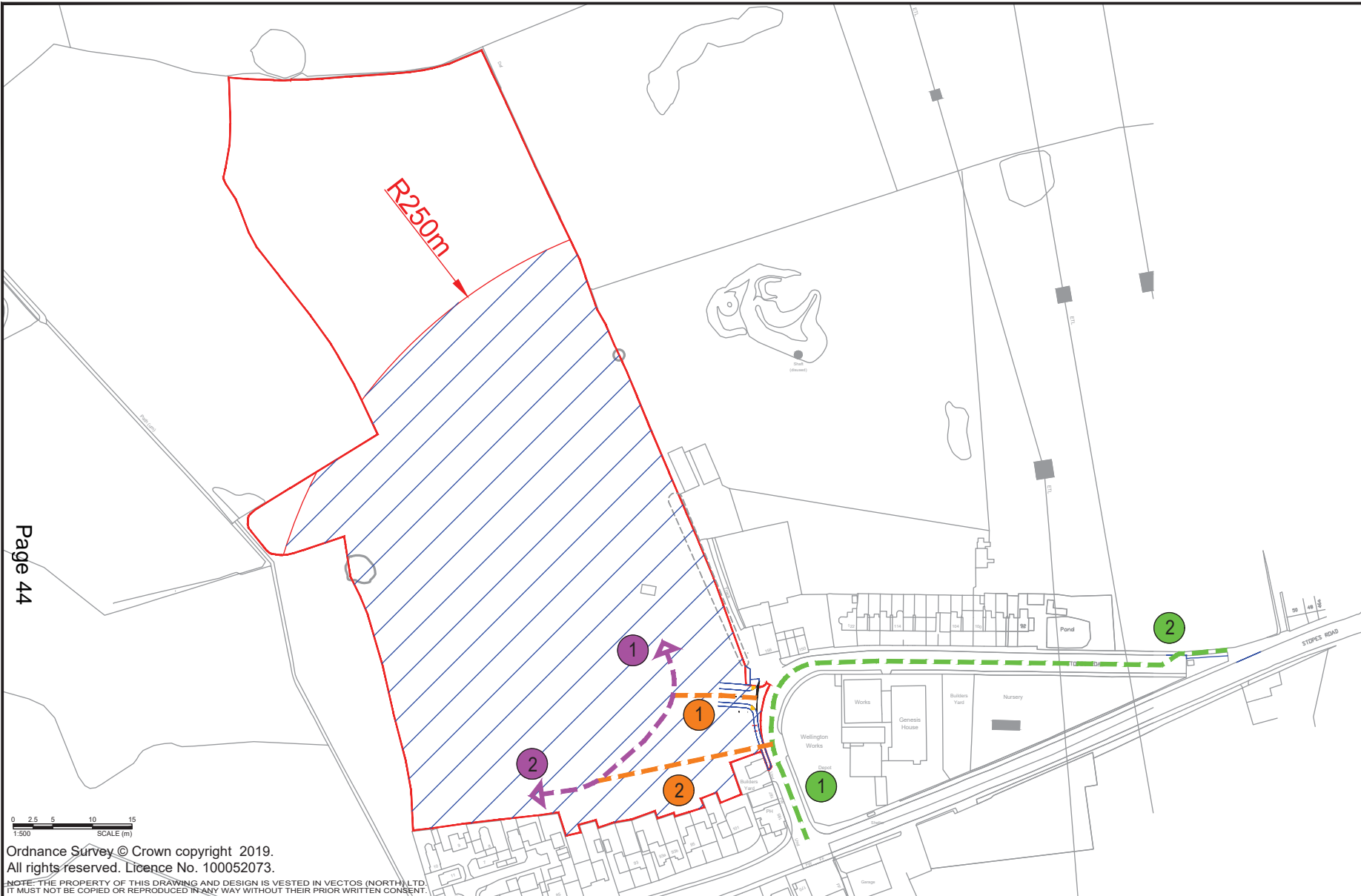


Plan 2



Plan 3











Ordnance Survey © Crown copyright 2019.  
All rights reserved. Licence No. 100052073.

NOTE: THE PROPERTY OF THIS DRAWING AND DESIGN IS VESTED IN VECTOS (NORTH) LTD.  
IT MUST NOT BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THEIR PRIOR WRITTEN CONSENT.

REV.	DETAILS	DRAWN	CHECKED	DATE
A	Amendments made to access routes	WD	AS	02.03.21

Notes:

1. This is not a construction drawing and is intended for illustrative purposes only.
2. White lining is indicative only.

-  Area Covered Within 250m of Site Access
-  Route to Site (Stopes Road)
-  Access to Site
-  Site Circulatory
-   Access Options

Stopes Road - Little Lever, Bolton

Emergency Vehicle Strategy

DRAWN:

WD

CHECKED:

AS

DATE:

29.01.21

SCALES:

1:2000 at A3

Harworth

**vectos.**

4th Floor Oxford Place, 61 Oxford Street, Manchester, M1 6EQ  
0161 228 1008 e: manchester@vectos.co.uk

DRAWING NUMBER:

VN201653-D107

REVISION:

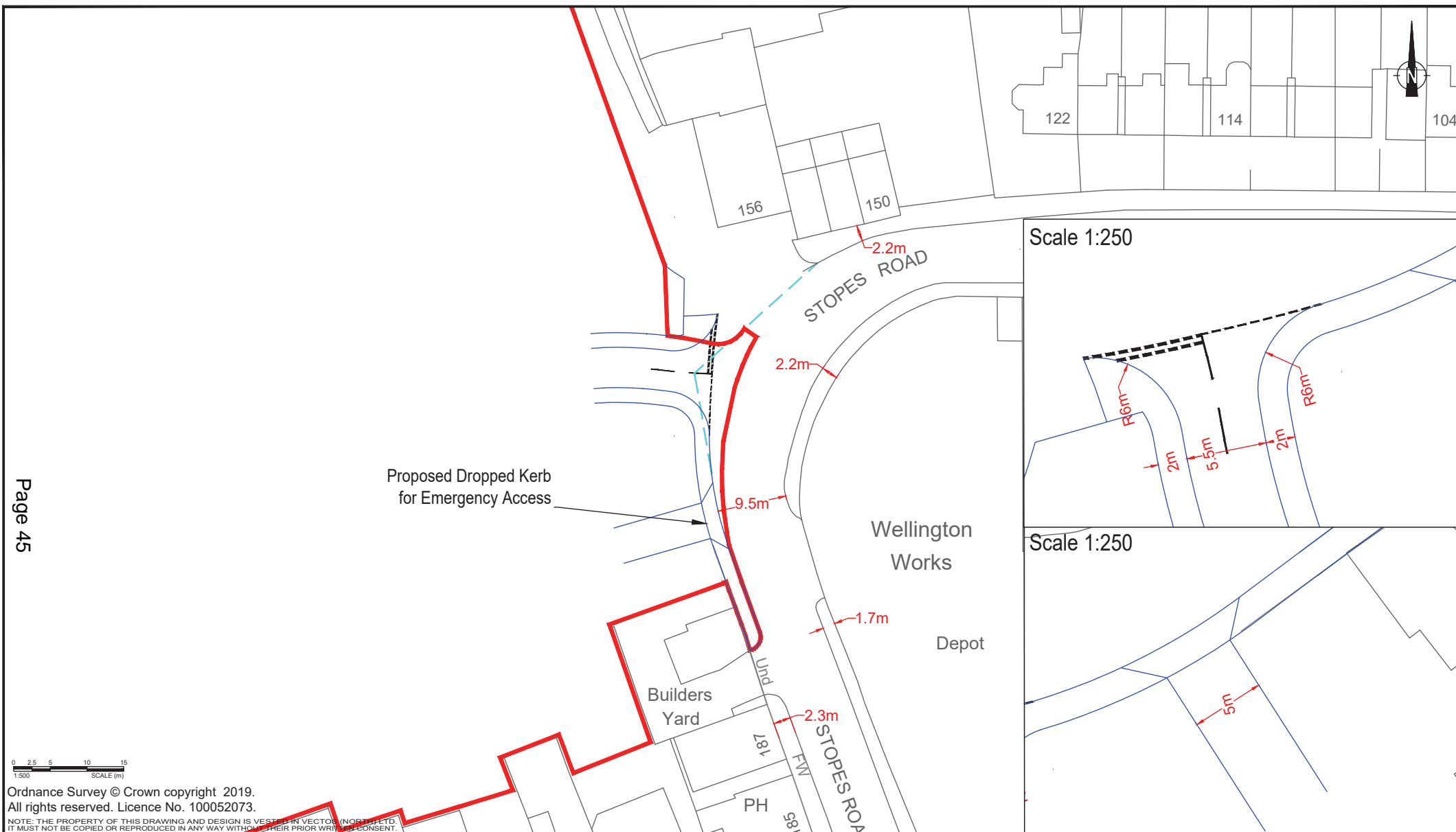
A



NOTE: THE PROPERTY OF THIS DRAWING AND DESIGN IS VESTED IN VECTOS (NORTH) LTD.  
IT MUST NOT BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THEIR PRIOR WRITTEN CONSENT.

REV	DETAILS	DRAWN	CHECKED	DATE
A	Amendments made to emergency access route	WD	AS	01.03.21

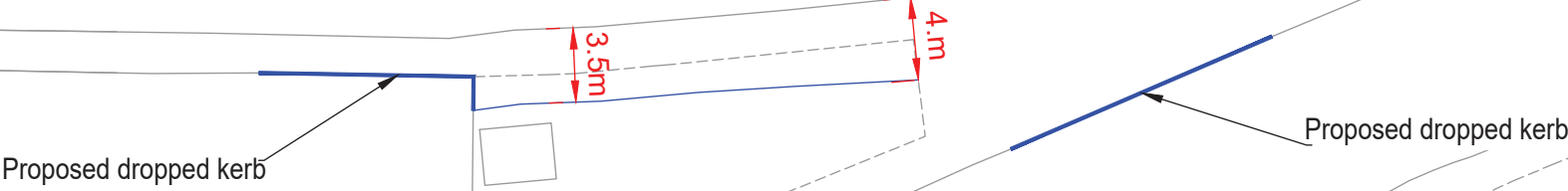
Visibility splay - 2.4m to Tangent of Kerb



DRAWN:  WD	CHECKED:  AS	DATE:  17.02.21	SCALES:  1:500 at A3 - Unless Shown
------------------	--------------------	-----------------------	---

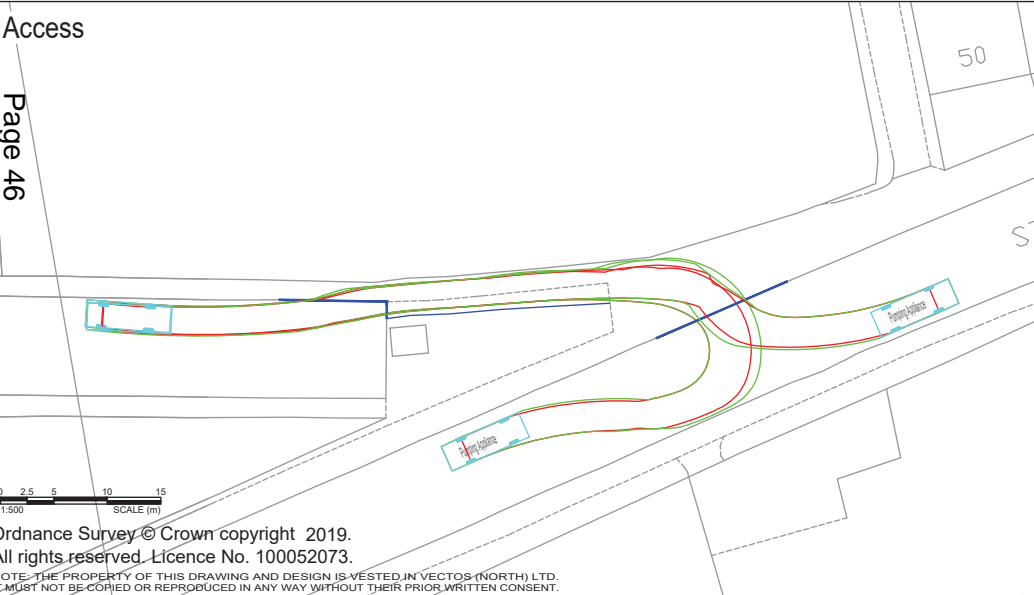
DRAWING NUMBER:	REVISION:
VN201653-D108	A

Scale 1:250

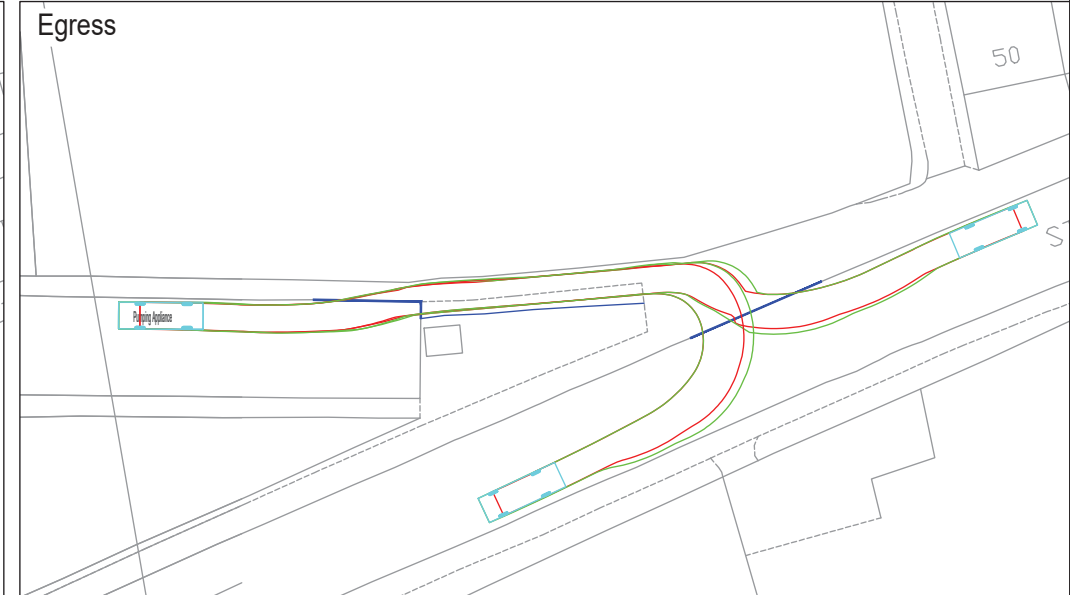


Access

Page 46



Egress

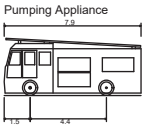


Ordnance Survey © Crown copyright 2019.  
All rights reserved. Licence No. 100052073.  
NOTE: THE PROPERTY OF THIS DRAWING AND DESIGN IS VESTED IN VECTOS (NORTH) LTD.  
IT MUST NOT BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THEIR PRIOR WRITTEN CONSENT.

REV.	DETAILS	DRAWN	CHECKED	DATE
-	-	-	-	-

Notes:

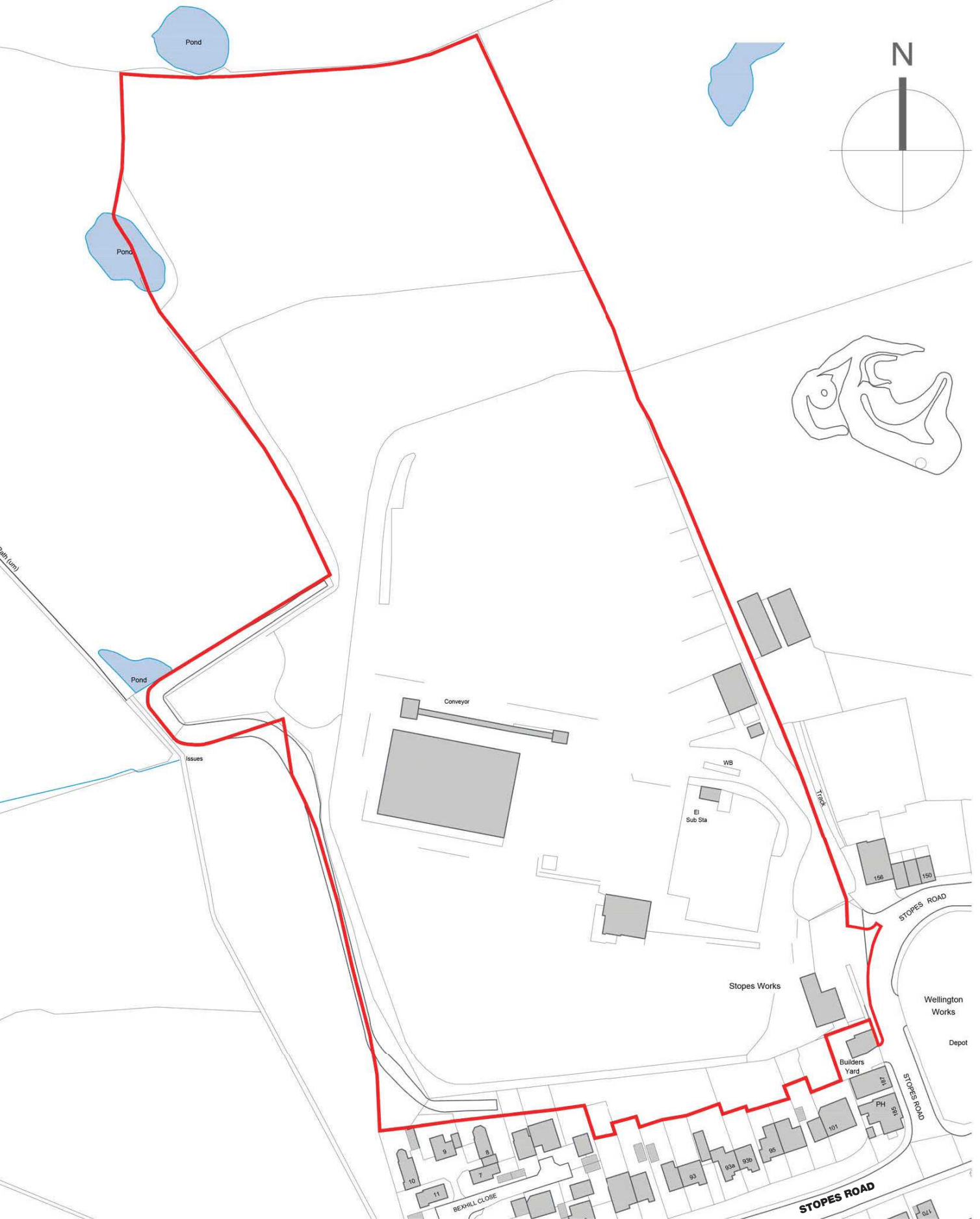
1. This is not a construction drawing and is intended for illustrative purposes only.
2. White lining is indicative only.



Overall Length 7.900m  
Overall Width 2.500m  
Overall Body Height 3.300m  
Min Body Ground Clearance 0.140m  
Track Width 2.500m  
Lock to lock time 4.00s  
Kerb to Kerb Turning Radius 7.750m

Stopes Road - Little Lever, Bolton				Harworth	
Proposed Emergency Vehicle Access Arrangement				<b>vectos.</b>	
				4th Floor Oxford Place, 61 Oxford Street, Manchester, M1 6EQ 0161 228 1008 e: manchester@vectos.co.uk	
DRAWN:	CHECKED:	DATE:	SCALES:	DRAWING NUMBER:	REVISION:
WD	AS	01.12.20	1:500 at A3 - Unless Shown	VN201653-D104	-

# LOCATION PLAN



This page is intentionally left blank

**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 03

**Applicant:** Mala Cuisine Ltd

**Location:** 18-20 Holcombe Village, Ramsbottom, Bury, BL8 4LZ

**Proposal:** Rear extension to form a storage area

**Application Ref:** 66177/Full

**Target Date:** 26/01/2021

**Recommendation:** Approve with Conditions

**The application was deferred from the March Planning Committee meeting for a site visit.**

**Description**

The application relates to an existing 2 storey stone built restaurant in the centre of Holcombe Village and the Holcombe Conservation Area. It is considered a Non-Designated Heritage Asset (NDHA) on the Council's Draft Local List. To the south are 3 storey stone built residential cottages which are either Grade II Listed Buildings or NDHA's To the rear is Higher House and its grounds, a Grade II Listed Building and opposite is the Shoulder of Mutton Pub, also of a Grade II Listed status.

Running along the rear of the site is Moor Road, a cobbled bridleway.

The restaurant fronts onto the main road which runs through the village whilst at the rear the land rises resulting in the ground floor being sunken at the lower level comparative to Moor Road with only the first floor of the property visible to view.

There is a narrow passageway which runs down the side and rear of the building at the lower ground floor level. At the rear, the narrow passage is infilled by a flat roof single storey timber barrel storeroom for the restaurant which is located at the lower ground floor level and which is screened from views by the retaining wall which encloses the passageway along the side and rear of the site boundary.

It is proposed to remove and replace the roof of the existing rear storeroom and extend on top of this to create a log store. The proposed extension would project past the height of the retaining wall by 1.1m. It would fit within the 1.2m wide passageway and would extend across the rear elevation by 3.7m at the first floor level.

The proposed extension would have a sloping roof which would project off the back wall of the property 300mm below the eaves and would be set in from the gable by 1.4m. It would be constructed of random stone at the upper level and a natural slate roof to match the existing.

The proposed store would provide a watertight area for the storage of logs used in association with the restaurant.

**Relevant Planning History**

63358 - 1 No. internally illuminated fascia sign and 1 no. internally illuminated projecting sign - 10/05/2019

49489 - Single storey rear extension to rear - Withdrawn by Applicant 10/03/2008

49656 - Single storey extension to rear - Refused 4/4/2008

63358 - 1 No. internally illuminated fascia sign and 1 no. internally illuminated projecting

sign - Refused 21/11/2018

### **Publicity**

Letters sent on 3/12/20 to 34 properties at Moor Road, Helmshore Road, Holcombe Village, Alba Street, Lumb Carr Road, Cross Lane.

Site notices posted 10/12/20 and 15/1/20.

Press advert 14/1/21

5 objections received from Nos 32 Holcombe Village, 103 Holcombe Road, 20 Westwood Road (Leek) , 1 Lumb Carr Road, 3 Helmshore Road

- According to the land registry, the land is not owned by the applicant and is common land providing access to my property and what was the remainder of the 18th century buildings on site - no legal right to build on the land. in the past the applicant has claimed land adjacent to the Mala.
- The claim that the extension is for storage - the restaurant has been shut since Covid and is never at capacity so question is - storage for what. The upstairs has not been used for 5 years - this could be used for storage. A single storey extension was turned down in 2008 and rejected at appeal - why is this application allowed?
- Legal points have to be considered and could lead to a judicial review
- Access to my boiler would be restricted and need access for maintenance.
- The extension would restrict access by the fire brigade
- Any extension would be within 25 yards of three 2 grade listed buildings and would need listed building consent. I had to apply to have a satellite dish on my roof
- Would restrict light
- Would alter views which have existed for over 250 years. A bridle path is not a suitable access for commercial vehicles to bring deliveries in the restaurant and the front has double yellow lines.
- Surprised the application has been allowed to get so far.
- Appearance of the rear of the Mala is unsatisfactory - but this is principally due to the incongruous fire doors but the proposal does nothing to deal with this and does not give any public benefit and should make use of the existing building rather than try to extend it with a mismatched shed-like structure
- Connecting the roof directly with the existing roof and so confusing the impression as to whether there is an extension or an original part of the building.
- The proposal would be seen from a well used public route and would be harmful to the setting of Higher house
- The extension would not be subordinate to the existing building but would stand out in form and materials.
- Being in the Green Belt the LPA should consider whether the proposal is acceptable in principle and meet an exception of paras 145 and 146 of the NPPF.
- The proposal is harmful to the setting of the Grade II Listed Higher House and the character and appearance of the Holcombe Conservation Area. Whilst this harm may be judged 'less than substantial' it is still significant and 'great weight' is required to be given to the conservation of the heritage assets affected (NPPF 193). If harm is to be accepted there needs to be "clear and convincing justification" (NPPF 194) and a counterbalancing public benefit (NPPF 197).
- Further regular traffic should not be encouraged - the bridleway is used by ponies from the riding Schools well as residents
- Why are logs to be stored on the first floor when their use is for a ground store stove?
- Custom is insubstantial amend this extra claimed facility seems unreasonable
- Existing kitchen vent is a noise and odour nuisance - these two types of pollution are surely inconsistent with heritage protection, as they taint the area, lingering at this low level of vent.
- Claims that now the appellant seeks to 'tidy up' the back of his property seem inconsistent with piles of litter over many years, and possible dumping of furniture at the back. The noxious vent still continues to run in unsocial hours and is often left on overnight. Should this storage area for logs be permitted residents would have further aggravation by noisy collection of logs, with doors /lighting function well into the quiet



night times when they should be safeguarded against unreasonable noise and disruption in their own homes

Revised plans received to show reduced height and size of the extension and materials proposed as tile hung elevations. Objectors re-notified on 13/1/21.

Further objections received from Nos 22 Westwood Road and 1 Lumb Carr Road with comments as follows -

- The 270mm inset from the gable end is better than nothing but the fine quoin stones will still mainly be covered. This represents a heritage character loss. Setting below the eaves is good. Still overall this extension will disrupt the rugged solidity which is such a defining characteristic of this and its surrounding buildings. The 'tile hanging' is not specified and material matters but again this is not a design approach relevant or appropriate here in Holcombe CA.
- Note there is a door from the main building into this extension - what are the fire and building regulations requirements?
- 2 vertical soil pipes seem to be enclosed within the new building - not confident these are building regs compliant.
- Note a swiftly running stream flowing under the extension which could compromise the buildings above and may need Building Control inspection
- The building would introduce clutter and loss of clean lines
- Note an untidy mess on looking over the back vertical wall.
- Note the extension of the consultation period extended by the advert in the Bury Times.

Objection received from No 32 The Village Holcombe with the following issues raised -

- It appeared to the untrained eye that the path leading to down from old Moor Road to the lower room of my home would be blocked.
- No intention to replace a defunct extraction fan and the development would in effect create a box which would make a trap for fumes and noise.
- It would cause a fire hazard because in the event of fire it would restrict access to the gas boiler and our lower bedroom it would also limit the amount of available light.
- We have now checked our rights and our deeds clearly show that we have a right of free access to our property. Nowhere is it shown that the Mala owns the land which according the land register is "common land" with "shared access". I am fully confident if this was to be taken to Court that we would win our case and I would be asking the Court to award costs.

Revised plans received to show store further reduced in size and elevation material changed to random stone and application area confirmed on the existing layout plan.

Further representations received.

Nos 3 Helmshore Road

- Further to the receipt of the updated/amended planning proposal from the Mala, I write to confirm that I am still in absolute opposition to the plan. The back of the Mala is already an eyesore at the bottom of a famous heritage site - there is rubbish and signs of neglect. The addition of another building would be totally inappropriate for this conservation and green belt area. It would be equally fitting to erect a shoe shop at the top of Holcombe Hill!

32 Holcombe Village -

- I wish to withdraw my objection relating to my property 32 Holcombe village, I have now had chance to look closely and note that the extension is the opposite side of the fire doors
- I still hold the view that final permission should be sort from the listed building planning authority as required in law as the development is within 25 yards of two grade 2 listed buildings and in a conservation area. That the land in question does belong to the Mala but is registered as common land.
- Puzzled why they are applying for a log store when they already have a room suitable for that purpose and in the past has been used for storage but over the last decade as



not been used at all. To make this room suitable would cost a fraction of the cost. It makes me question the proposed recent for the application.

- Finally, another planning application was submitted for a shipping contain as an office for the riding school and an amendment made to clad it in wood was offered so it would fit in with the area. Strange, that the initial application by the Mala was for the building to be clad in wood, surely this can't be down to co-incidence.!!

#### 1 Lumb Carr Road -

- Query the ownership of the application area
- The passageway not only facilitated the whole block but allowed for maintenance works
- A water channel led water from the building and remains as such, coursing in flood conditions.
- Dispute of ownership of the retaining wall - negligent of the Council to permit the application
- The applicant has already erected buildings at the back completely blocking the passage and the extension would put the retaining wall at risk.
- In my view does not preserve or enhance
- Surely needs Listed Building Consent
- The Mala claim they have many customers - only seen a few tables taken.
- Deeds and plans show the applicant does not own all the land on the proposed plans - and do not own the retaining walls.
- The title deeds require the passageway must always be available for nearby residents to pass and most of all be able to service any sewers, drains and water courses required for their own properties. The extension would block this.
- The owner has already fitted a new high gate which is not shown.
- If Bury MBC approve the application there could be legal proceedings involved due to ownership issues.
- Bury MBC should verify with the applicant the extent of ownership.
- A site visit by members is essential.
- I am at variance with the Conservation Officer as to the visual impact and spoiling of the 3 significant heritage buildings.
- No indication how the existing barrel store would be converted - it needs a proper specification given there is a substantial drain running below the barrel store.
- The build would block a rights of access to neighbouring properties.

#### C/O Dawes Bank

- Note the amendments to the plans.
- Recommend a condition to expressly stipulate submission for samples to include submission of a sample panel.
- Concern the extension would be knocked through into the existing building - a condition should be included to avoid this.
- The Conservation Officer stated - 'there would be no indivisibility between the proposal and listed buildings on Holcombe Village' . Does this mean intervisibility? Believe there would be views between the extension and main front of Higher House from Moor Road.
- Believe LBC would be required.

#### Higher House -

- Reduced visibility of roadway from the adjacent parking bay.
- Drainage - The extension would cover a substantial channel drain which catches rainfall and run off water. If the drain is covered is covered the effects of flooding would be worsened.
- Detrimental to the Conservation Area - There are no other timber structures along the road.
- No input from the Conservation officer.
- The extension would be a shed in front of Higher House.
- The use is inappropriate and would invite infestation.
- Is there a need to extend above the retaining wall.
- The issue of a covenant on the land regarding rights of access which would restrict the

development

Revised plans received to clarify ownership areas of the site and Certificate of Ownership B signed by the applicant.

Those who had made previous representations to the application were notified of the revisions by letter on 22/2/21

Responses received from:

Higher Barn Farm - no comments to make

23 Windermere Drive -

- I would like to object to this application as I am the freeholder of the land in question.

1 Lumb Carr Road -

- Impact on Higher House Grade II Listed Building
- Would affect the line of the attached Listed Buildings requiring LBC.
- Documents submitted citing case law, whereby 3 tests were established to determine curtilage testing - physical layout; ownership, historic and current; use or function, historic and current. The case referred to determined that the curtilage of a listed building includes *"any related objects or structures which naturally form, or formed, with the listed building an integral whole"*. (Justice Stephenson, 1982)
- This whole connected set of buildings were all originally in the HAES Estate similarly to the case above.

Those who have made representations have been informed of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

Conservation Officer - No objection

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions

### **Unitary Development Plan and Policies**

NPPF	National Planning Policy Framework
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN9/1	Special Landscape Areas
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
OL7/2	West Pennine Moors
S2/6	Food and Drink
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

### **Green Belt Policies and Principle**

Paragraphs 143 and 144 of the NPPF state that inappropriate development in the Green Belt is by definition, harmful and should not be approved except in Very Special Circumstances (VSC). Planning Authorities should ensure that substantial weight is given to any harm in the Green Belt. VSC will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 145 of the NPPF considers the construction of new buildings in the Green Belt as inappropriate development. Exceptions to this include bullet point c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.

The proposed development would add an additional 20 cubic m of volume which would be significantly below the third which is generally advised as a starting point in policy guidance when considering extensions to buildings (although each application will be considered on its own merits). In terms of volume and scale, the proposed new build would be a subservient addition, fully contained within the site area and substantially screened from views by the existing retaining wall.

The design would be modest, proposing materials of random stone and natural slate which are considered appropriate to the character, setting and status of Holcombe Village.

As such, it is considered that the proposed development would be proportionate and an appropriate addition to the existing property and would not harm the character or the openness of the Green Belt and would comply with the principles of the NPPF.

### **Heritage Policies and Principle**

Section 66 of the Planning (Listed Building and Conservation areas) Act 1990 requires that in considering whether to grant planning permission for development which affects a listed building or setting, the Local Planning Authority shall have special regard to the desirability of preserving the building and/or its setting, or any features of special architectural or historic interest which it possesses. The decision maker must also give considerable importance and weight to the desirability of preserving the setting of the listed building.

Section 72 of The Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to give special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

Paragraph 189 states that in determining applications, LPA's should require an applicant to describe the significance of any heritage assets affected, including any contribution to their setting. The level of detail should be proportionate to the asset's importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

Paragraph 197 states that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Policy EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control seeks to preserve or enhance the special character or appearance of the area and has regard to factors including the nature of the development in terms of design and detailing and relationship to the architectural and visual qualities of the surrounding area.

Policy EN2/3 - Listed Buildings seeks to actively safeguard the character and settings of Listed buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historic character and features and includes the need to protect

the setting of a Listed Building.

The submitted Heritage Assessment (HA) is satisfactory in that it does proportionately describe the heritage assets and the impact of the proposal on the setting or otherwise of the listed buildings identified as required by paragraphs 193 and 194 of the NPPF. The proposal is of such a small scale it would not affect the setting of Higher House and there would be no intervisibility between the proposal and listed buildings in Holcombe Village.

The scale is such that it would not have a detrimental visual impact on the NDHA nor challenge its significance. The position of the proposal setback from the gable of the original building would ensure the existing original historic quoins would remain visible and dropped below the eaves.

The design and materials of the proposed extension are considered to be acceptable. The proposed extension would be built of natural stone to match the host building. This would be at least neutral in its impact and would preserve the character and appearance of the conservation area of which vernacular buildings in simple form using local natural stone is strong contributor to the character and appearance of conservation area forming its local distinctiveness.

As such it is considered that the proposal would preserve the character and appearance of the conservation area and would not harm the significance of the NDHA or the setting of nearby listed buildings and would comply with the principles of the NPPF and UDP Policies.

**Scale, layout and design** - The proposed development would provide a water tight and secure storage facility for the restaurant business.

The extension would be approximately 1.2m wide located on top of the existing lower ground storeroom and project 3.7m along the rear elevation of the building. It would cover an area of 4.45 sqm, and be completely contained between the existing rear elevation and retaining wall and therefore add a relatively small amount of floor space to the existing building. The proposed extension would be set in from the gable wall by 1.4m to avoid the existing stone quoins and as such the original historic fabric of the building would be retained.

The proposed extension would be 300mm lower than the eaves of the building and project off the existing rear elevation. Due to the difference in levels and when viewed from outside the site and from Moor Road at the rear, a large part of the proposed extension would be screened by the existing stone retaining wall. It would project only 1.1m above the existing stone retaining wall and therefore considered to be a discreet and unobtrusive addition.

The proposed extension would be constructed from random stone and have a natural slate roof which would match the existing building and considered to be appropriate within the context of the Conservation and Heritage value of the area.

As such, the proposed development is considered to be acceptable and would comply with UDP Policies EN1/2, EN2/1, EN2/2 and the principles of the NPPF.

**Impact on residential amenity** - The closest dwellings would be those attached and adjacent to the south of the site and Higher House to the rear across Moor Road.

The attached property, No 22 Holcombe Village has a timber bridge which links from Moor Road to the first floor to provide access. No 32 Holcombe Village is in a setback position with the front elevation and entrance facing the rear of the application building.

The proposed store extension would project less than half the rear elevation of the application property and would be 10m from No 22 and 13m from the front of No 32. The extension would be formed over the existing barrel store which is sunk below road level and as it would be lower than the eaves of the existing building and given the distance away, it

is considered there would not be a significant impact on the outlook or amenity of either neighbour.

Higher House is not directly behind the site but is in an off-set position to the north west 10m away. It is also separated by Moor Road. It is therefore considered that the size and position of the proposed extension would not be harmful to the amenity of the occupiers of Higher House.

It is therefore considered that the proposed development would not significantly harm the residential amenity of the adjacent properties and as such would be acceptable and comply with Policies EC4/1 and EN1/2.

**Highways** - The proposed extension would be contained within the site and behind the existing retaining wall which forms the rear boundary of the site. There would be no encroachment beyond the existing boundary and no impact on Moor Road or users of this road.

As such, the proposed development is considered to be acceptable.

### **Response to objectors**

- The application which was previously refused, planning reference 49656 in 2008 was refused by the LPA on residential amenity grounds due to the outside space which would likely be used by customers for external gatherings and noise and disturbance. The application was not refused on Green Belt or Conservation or Heritage grounds. The applicant appealed the decision which was dismissed by the Planning Inspectorate on the same amenity grounds. In terms of the visual impacts and impacts on the Listed Building and Conservation Area, the Inspector was of the opinion that the proposal would improve the rear of the site and the materials and design not harm the heritage setting. However, this did not overcome the harm to the living conditions of the nearby residents. To note, the application ref 49656 was wider and involved the removal of the existing retaining stone wall.
- The proposed extension would not be sited to obstruct access for the maintenance of the attached property. Maintenance of adjacent properties are private matters and not material planning considerations.
- Need for the extension is not a material planning consideration.
- There would be no changes to the existing servicing arrangements of the restaurant.
- Issues involving scale, size, design and materials have been covered in the above report.
- Building Regulation requirements are not material to this planning application.
- The application for the retention of the shipping container at the Riding School was for a temporary type development and a completely different character of development and a completely different setting, location and use. The application was considered as such and assessed on its own merits.
- Plans have been revised to confirm and clarify the extent of ownership of the site by the applicant. Dispute of ownership is a private matter.
- A condition has been recommended for the submission of a sample panel of all materials.
- Typing error in the Conservation officer consultation response - should read 'intervisibility' . The objector has misinterpreted the Conservation Officer response where it is stated that - *'The proposal is of such a small scale it would not affect the setting of Higher House and there would be no intervisibility between the proposal and listed buildings in Holcombe Village'*. It was clearly stated that it was considered that the proposal would not affect the setting of Higher House. It is the listed buildings in Holcombe Village - ie opposite the Mala in the 'village' which would not be in the same sightline as the proposed extension.
- The extension would be within the existing passageway and encroach no further beyond the existing retaining wall. Visibility along Moor Road would not be affected. The area referred to as parking for Higher House does not appear to have planning consent. It should be noted that the objector has recently been granted permission for parking



- within the curtilage of their property and has existing lawful parking available.
- Drainage - the proposed extension is at the first floor only and would be on top of the existing store.
- Materials are proposed as coursed stone - not timber.
- The extension would be small in scale, size and massing and built of natural stone material like the existing restaurant. Higher House does not have a directly facing relationship to the site and it is approximately 10m away. It is considered the extension would be subservient and an appropriate addition and not impact on views from Higher House.
- The extension would be at first floor and contained within a stone exterior and a watertight construction would not be causal of infestation.
- The Conservation Officer's comments have been posted on the website and were published on 1st February 2021 prior to receiving the objection from Higher House on 5th February 2021.
- The proposed extension would not block access to adjacent properties or along the route of Moor Road.
- The existence of a covenant does not control the acceptability of a development in planning terms but the capability of implementation. This area of law is very clear and covenants are not a material planning consideration.
- Concern raised that LBC would be required. The proposed development would involve works to a Non Designated Heritage Asset and not to a Listed Building. Pursuant to Sections 7 and 8 of The Planning and Conservation Areas Act 1990, the works do not constitute demolition, extension or alteration of a Listed Building that would affect its character of a building of a special architectural or historic interest. The development would not be within the curtilage of a Listed Building. The Conservation Officer has confirmed that the application site does not fall within the curtilage of the listed building and Listed Building Consent is not required. The impact of the proposed extension on the setting of the Listed Buildings has been addressed in the above report where it has been considered not to affect the setting of the NDHA or Listed Buildings.
- The application was deferred from the February Planning Control Committee meeting to address ownership issues and the applicant has now served the correct notices upon the appropriate owners and signed the correct certification relating to land ownership. Freeholder rights are private matters.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered- Location plan pm9-00 Rev D; Existing layout plans pm9-01D; Existing elevations pm9-02; Proposed layout plans pm9-03B; Proposed elevations pm9-04C; Existing block plan pm9-05; Proposed block plan pm9-06; Proposed elevations (indicated shaded area) pm9-07 and the

development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

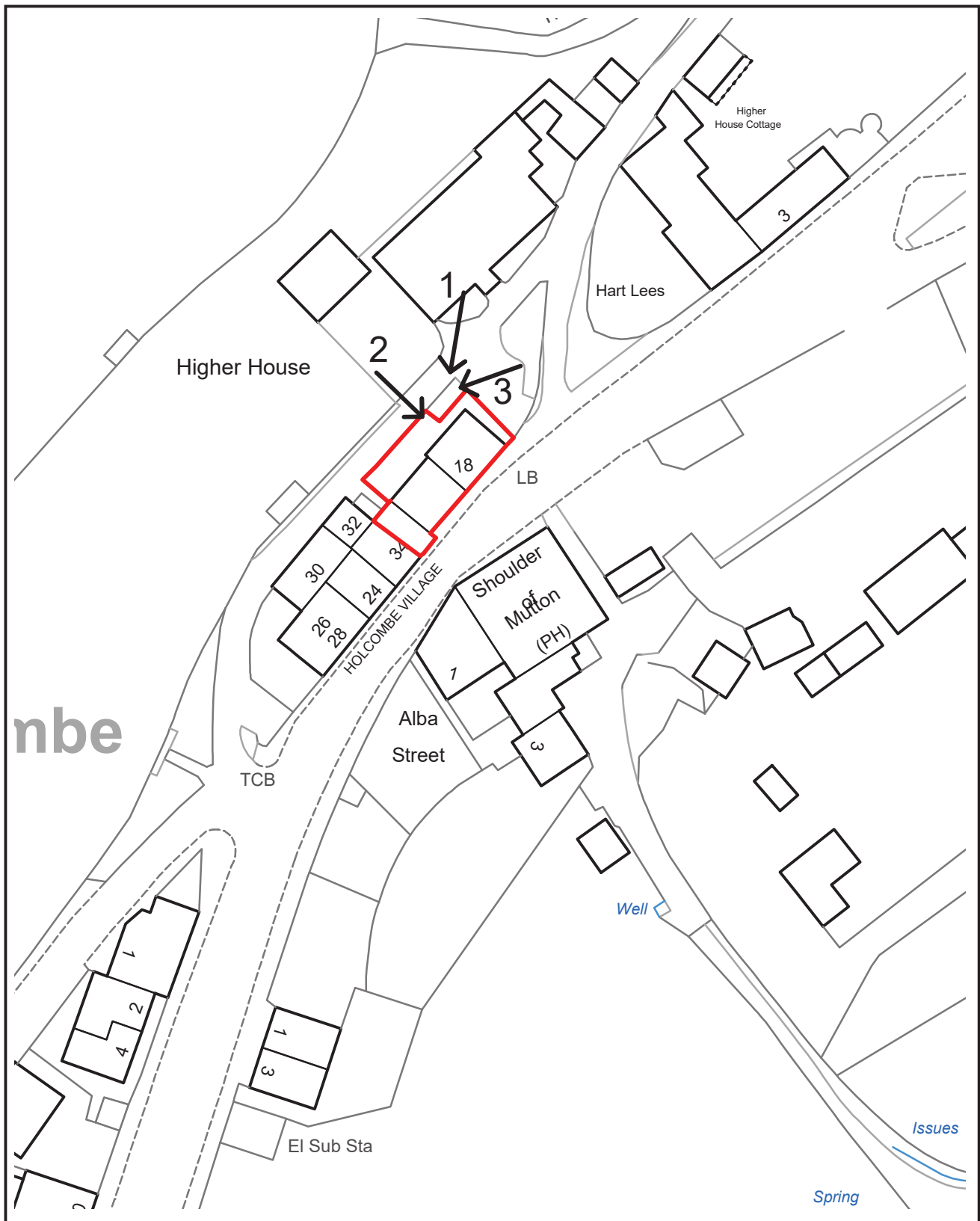
3. A sample panel of all materials to be used, including demonstrating the colour, texture, face bond and pointing, not less than 1 sq.m in size, shall be erected on site for inspection, and to be approved by the Local Planning Authority prior to the commencement of the development. Samples of the roofing materials shall also be made available for inspection on site. Thereafter the development shall be constructed in the approved materials and manner of construction.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policies EN1/1 Visual Amenity, EN1/2 - Townscape and Built Design EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN2/3 - Listed Buildings and the principles of the NPPF

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**



# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66177**

**ADDRESS: 18-20 Holcombe Village  
Ramsbottom**

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



**Bury**  
COUNCIL

66177

Photo 1



Photo 2

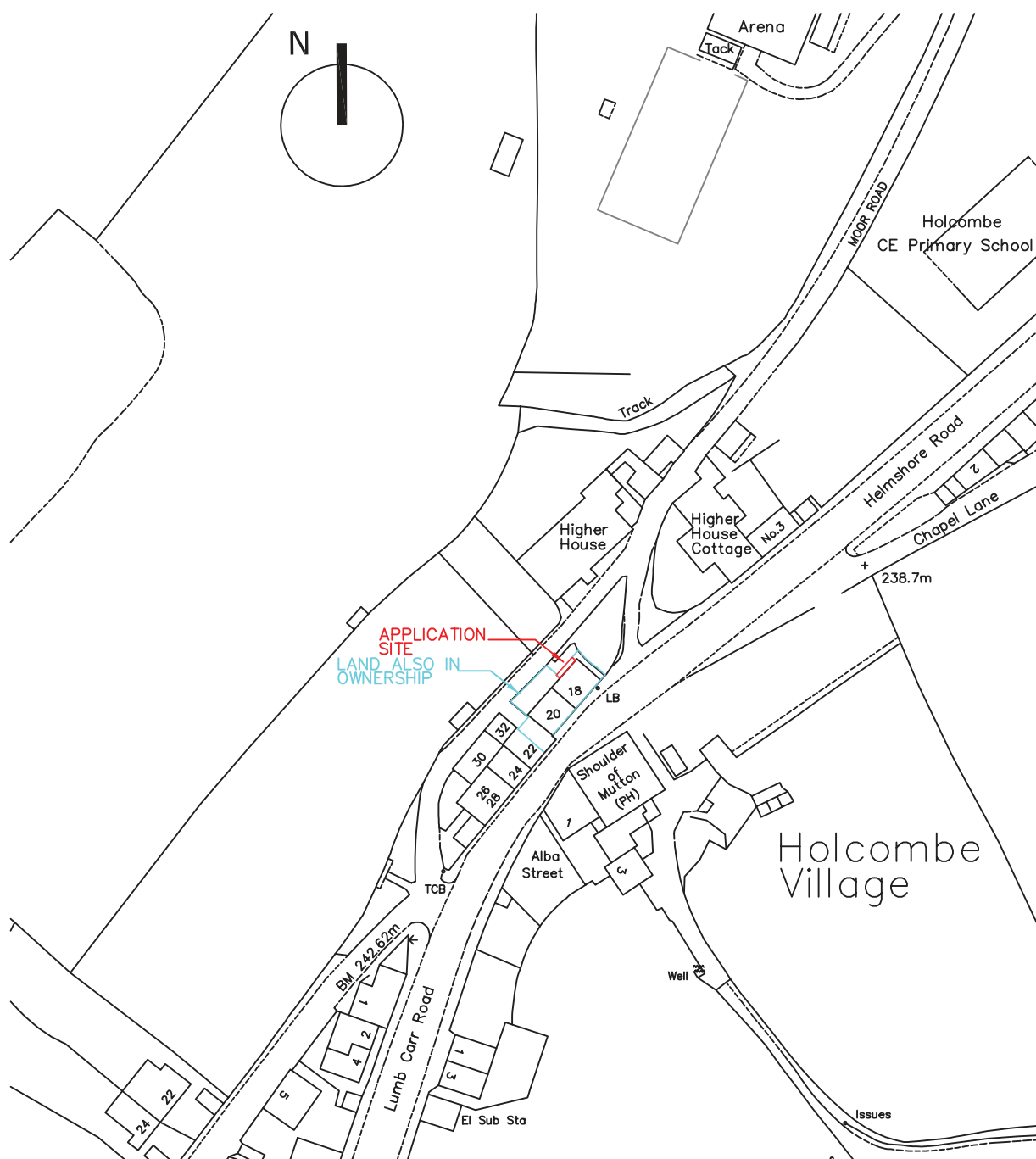




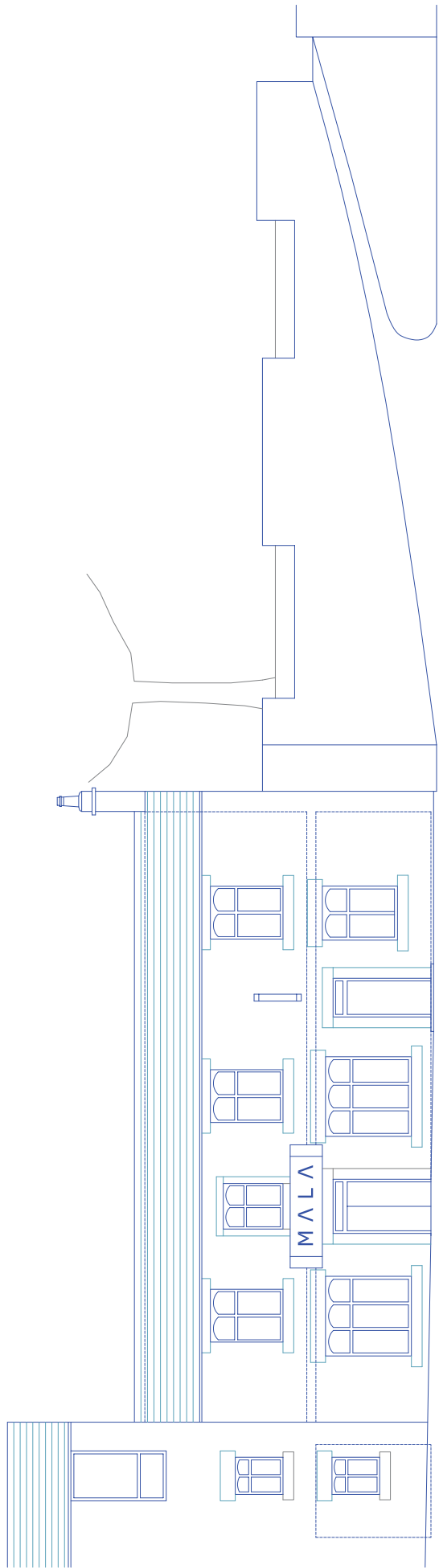
66177

Photo 3

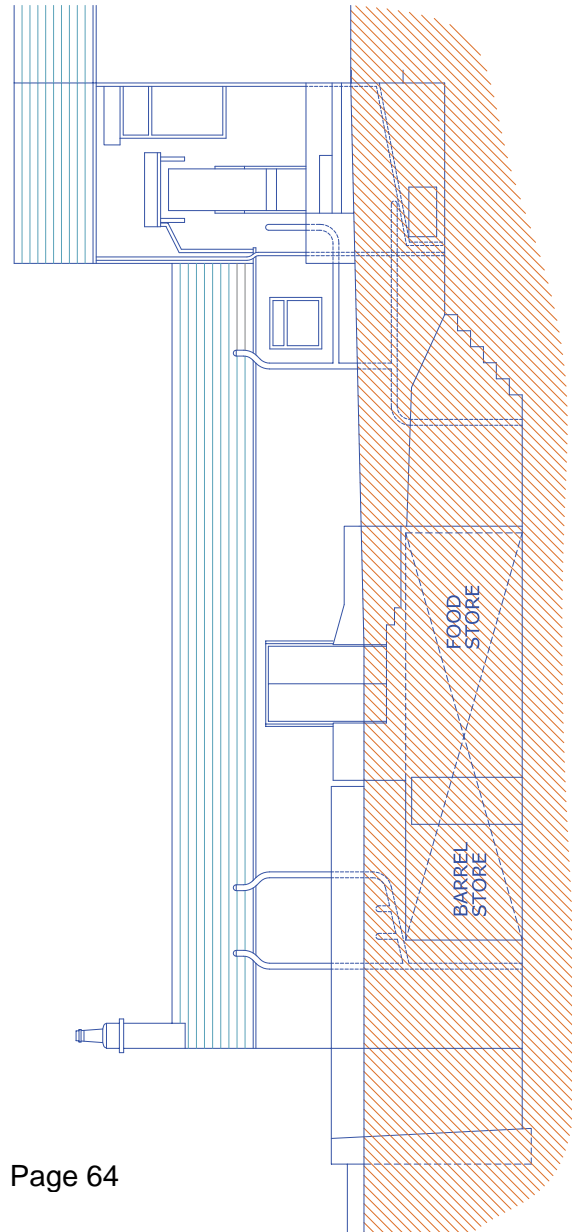




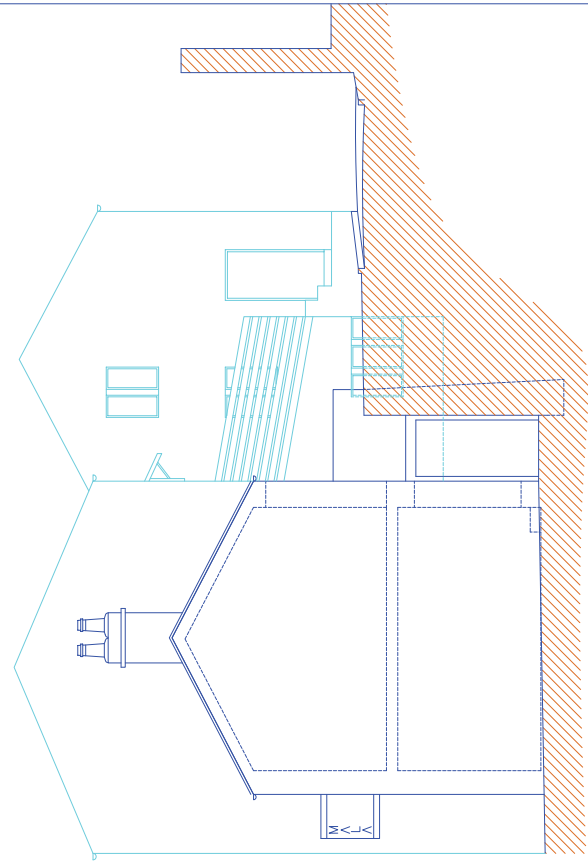




EXISTING ELEVATION ALONG HELMSORE ROAD



EXISTING REAR ELEVATION



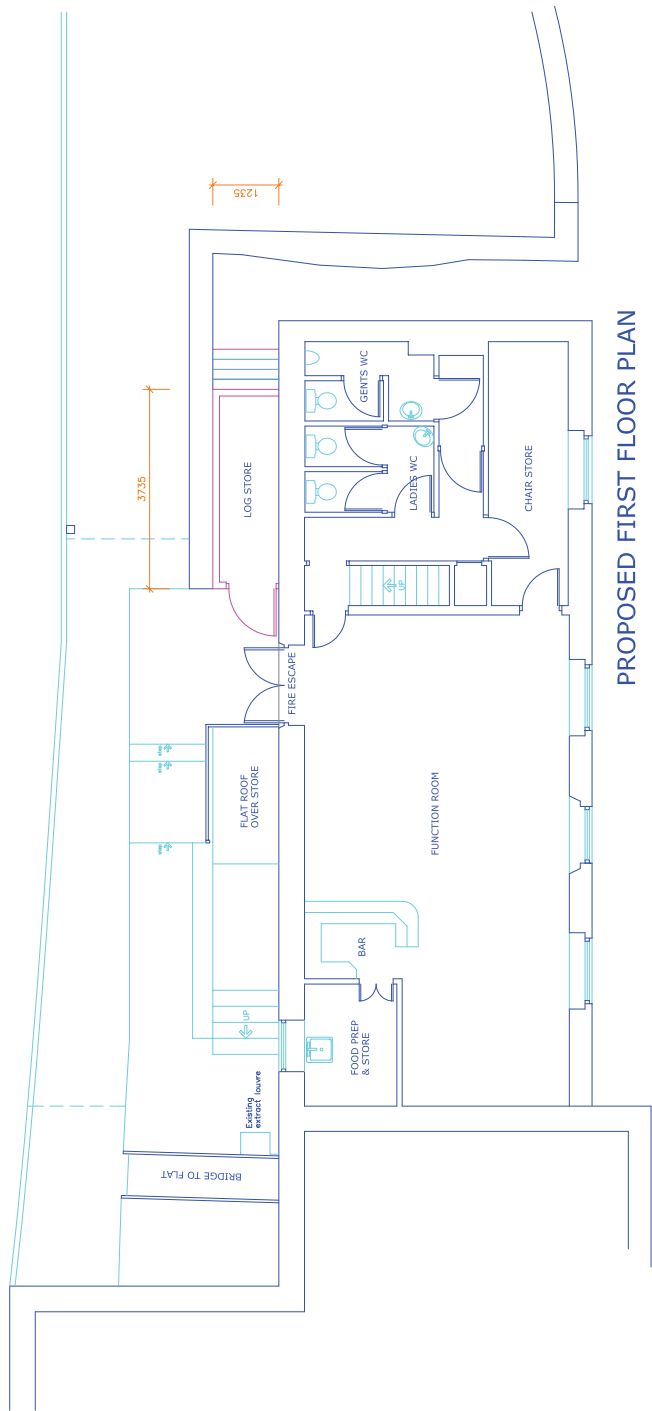
EXISTING SIDE ELEVATION

The drawings and design concepts in this document are the property of PPy design Ltd and shall not be reproduced without written permission.

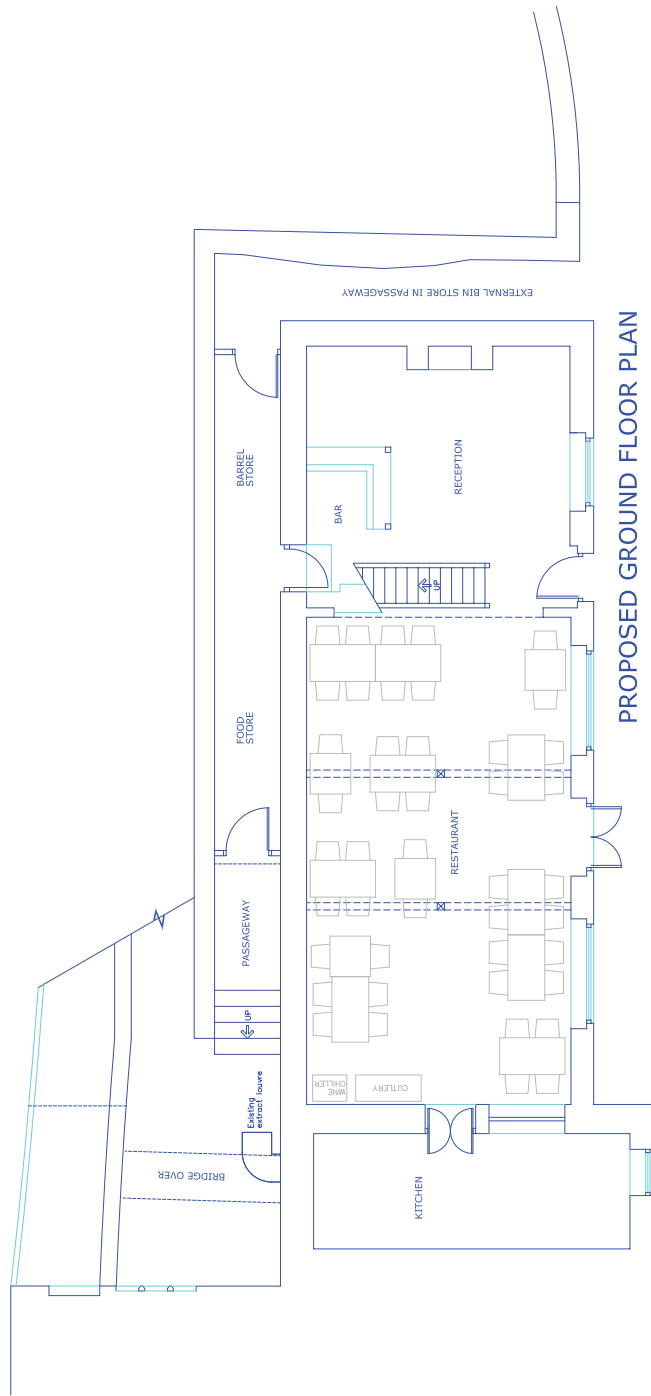
2 Helmsore Road, Helmsore Village  
Ramsbottom, Lancashire, B64 4PA  
Contact: 0161 254 1111  
Email: info@ppydesign.co.uk  
Web: www.ppydesign.co.uk

Scale: 1:500 (A3)  
Drawing No: PPM9-02  
Drawing Date: 14/08/2024  
PPy design Ltd

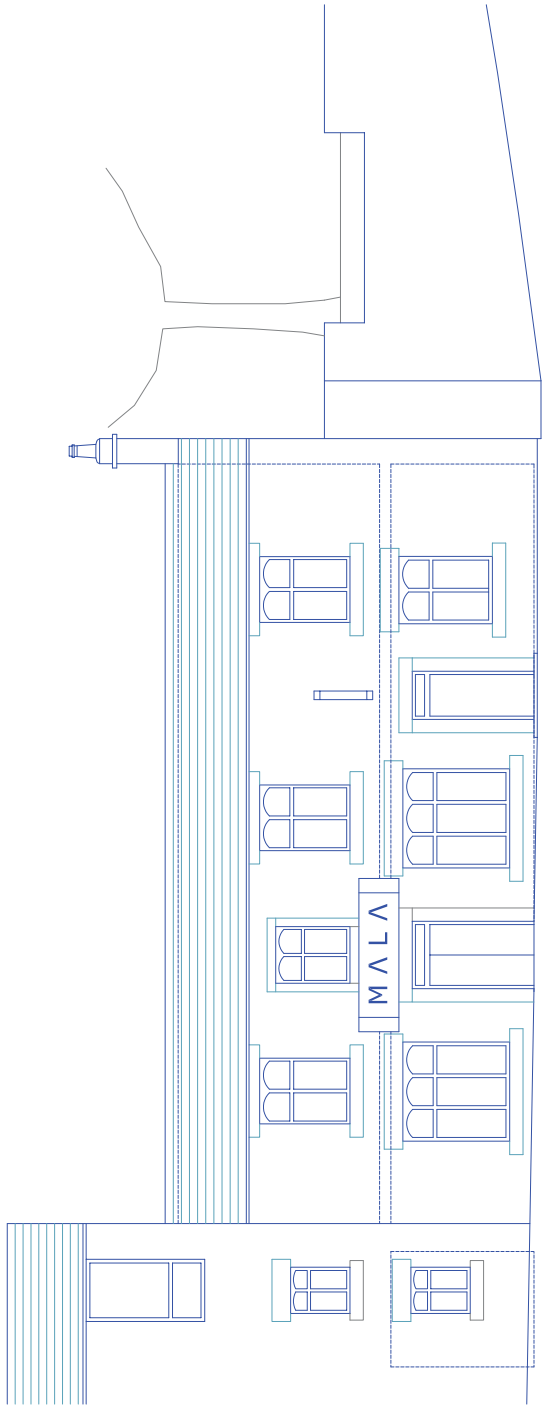




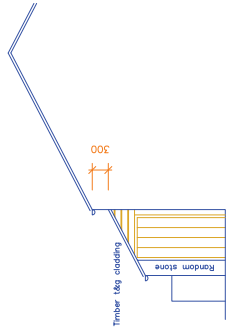
PROPOSED FIRST FLOOR PLAN



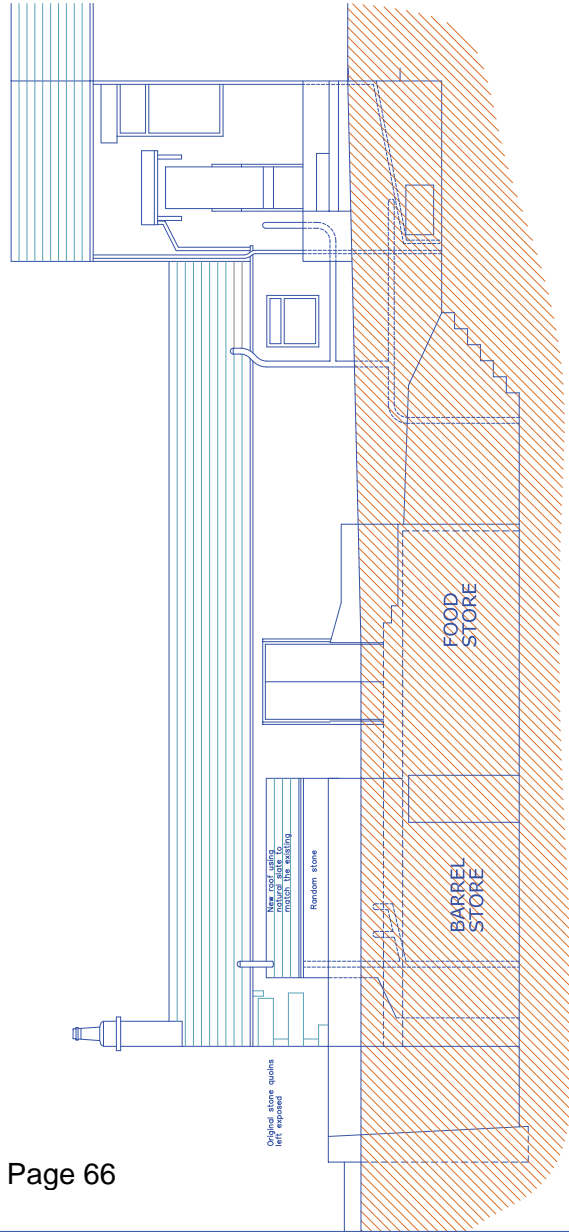
PROPOSED GROUND FLOOR PLAN



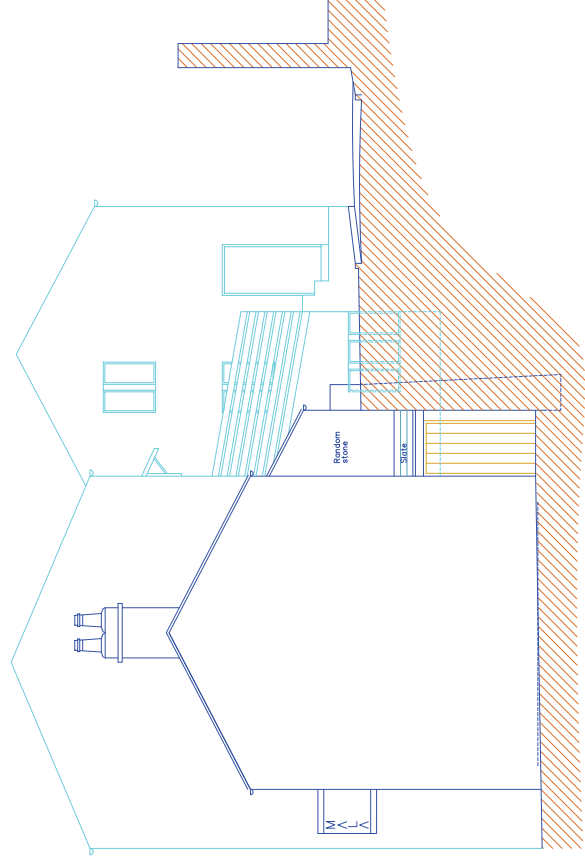
PROPOSED ELEVATION ALONG HELMSORE ROAD  
No change



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

The drawings and design concept for this project are the property of PPy design Ltd and shall not be reproduced without written permission.

2 Helmsore Road, Helmsore Village  
Ramsbottom, Lancashire, B64 4PA  
Contact: 0161 254 1111  
Email: info@ppdesign.co.uk  
Website: www.ppdesign.co.uk

Scale: 1:500 @ A3  
Drawing Date: 10/01/2023  
Drawing No: 1000-0000-0000-0000  
Project Name: 1000-0000-0000-0000  
Project Location: 1000-0000-0000-0000  
Project Status: 1000-0000-0000-0000  
Project Owner: 1000-0000-0000-0000  
Project Manager: 1000-0000-0000-0000  
Project Designer: 1000-0000-0000-0000  
Project Engineer: 1000-0000-0000-0000  
Project Architect: 1000-0000-0000-0000  
Project Structural: 1000-0000-0000-0000  
Project MEP: 1000-0000-0000-0000  
Project Landscape: 1000-0000-0000-0000  
Project Other: 1000-0000-0000-0000

0 1 2 m

Scale: 1:500 @ A3  
Drawing Date: 10/01/2023  
Drawing No: 1000-0000-0000-0000  
Project Name: 1000-0000-0000-0000  
Project Location: 1000-0000-0000-0000  
Project Status: 1000-0000-0000-0000  
Project Owner: 1000-0000-0000-0000  
Project Manager: 1000-0000-0000-0000  
Project Designer: 1000-0000-0000-0000  
Project Engineer: 1000-0000-0000-0000  
Project Architect: 1000-0000-0000-0000  
Project Structural: 1000-0000-0000-0000  
Project MEP: 1000-0000-0000-0000  
Project Landscape: 1000-0000-0000-0000  
Project Other: 1000-0000-0000-0000

PPy design Ltd



This page is intentionally left blank

**Ward:** Bury East - Moorside

Item 04

**Applicant:** Mr and Mrs Tierney

**Location:** 26 West Drive, Bury, BL9 5DN

**Proposal:** New dwelling in garden of existing house

**Application Ref:** 66226/Full

**Target Date:** 16/02/2021

**Recommendation:** Approve with Conditions

**The application was deferred from the March Planning Committee meeting for a site visit.**

**Description**

The application site consists of a semi-detached dwelling with a large garden to the front, side and rear. The existing dwelling is constructed from a dark brick and a red tile roof. The property has been extended to the side with a two storey flat roofed extension. There is parking for 3 cars on the drive, which is accessed from West Drive.

There are residential properties to all boundaries. The existing dwellings are in a variety of styles - bungalow, detached with dormers in the roof space and two storey dwellings with bay windows.

The proposed development involves the erection of a single dwelling in the side garden. The proposed dwelling would be two storeys in height and would be constructed from red brick, cedar lap composite cladding and a grey tile roof. Parking for 2 vehicles would be provided to the front of the proposed dwelling and would be accessed from West Drive. A driveway of 2 cars would be retained for use by the existing dwelling.

**Relevant Planning History**

21979 - Residential development - 1 dwelling at land at 26 West Drive, Bury. Refused - 15 December 1988.

26335 - Residential development - 1 dwelling at land at 26 West Drive, Bury. Refused - 3 October 1991

Both applications were refused as the size of the site was inadequate to accommodate the scale of the proposed development and as such, would have an adverse impact upon residential amenity.

**Publicity**

The neighbouring properties were notified by means of a letter on 4 January 2021.

A letter from James Daly MP has been received on behalf the occupiers of 51 West Drive, which has raised the following issues:

- I am objecting to the planning permission on the basis that the property is close to a blind bend on an extremely narrow road, that has no central lines as it is that narrow.
- The new dwelling is too big for the plot.
- The planning application proposes to put 2 parking spaces directly opposite my drive, No 51 and that of No 53. the new dwellings car parking would be approx 1m from the curve of the bend.
- This problem can be demonstrated at the other corner of west drive, No 27 & No 25, where my daughter lives. She is unable to park at the front of her house as No 20 West Drive, who have a drive do not use it and park in front of any house, thus causing



danger to all vehicles and children on that corner.

- There are bollards erected on the corner of the proposed new dwelling, which is damaged by vehicles coming round the corner again demonstrating the danger.
- Planning application was rejected for a new dwelling twice before in 1988 and 1991 previously for this same reason, when there were fewer cars on the road.

8 letters have been received from the occupiers of 13, 27, 30, 45, 51, 53, 71 West Drive, which have raised the following issues:

- The driveway is too close to the corner of the road and will increase congestion. There is already a struggle with cars coming on and off their driveways. The opposite corner of West Drive is a daily struggle with cars parked everywhere on a narrow road, especially in winter months.
- If the new homeowners have more than 2 cars there will be more cars on a corner and more dangerous, especially as it will impede the view of people driving around the bend.
- The proposed development would make it difficult for the occupier Nos 26, 51 and 53 to reverse on and off the respective drives.
- Visibility for vehicles would be restricted on the blind corner and would be extremely dangerous on an already narrow road.
- The proposed house, on the north elevation, extends beyond the building line on West Drive, and would form an overly dominant and obtrusive feature, out of character with the surrounding area. The proposed house is also very close to No 26.
- Potential issues with road safety, especially the access to/from the driveway of the proposed house, as it is on a blind corner. There is a discrepancy on the drawings relative to the position of the driveway to the new house, as it is shown close to the blind corner, and not existing.
- Issues with additional visitors parking on West Drive - it is difficult for residents to drive in and out of their driveways when there are cars parked on what is already a narrow road.
- Applications for a house in the garden of 26 West Drive have been refused in the past, presumably for reasons of safety and access on a corner plot.
- Having lived in West Drive for almost 50 years- 36 of those at No 71 we were contacted in 1988 and 1991 regarding planning for a new building which got rejected on both occasions on presumably dangerous access.
- In those days there was far less traffic down West Drive than what there is today. These days people park on West Drive as they don't have enough room for their numerous vehicles and so when workmen or visitors are around the Drive can become quite congested for residents leaving or entering their driveways.
- There is only one space at the front of No. 26 and 2 new spaces, opposite No. 51/53, they will not be staggered as there is not enough room. Average length of car is 4.6m, this would mean you have 7 cars reversing out of their drives onto an area of 20m2.
- Road width does not give access to emergency services vehicle and jeopardise public safety for young children
- The proposed development would impact on the amount of light received by residents in their gardens, both adjacent and opposite the proposed dwelling.
- It will be very close to and seriously overlook the residents of next door (28 West Drive) and will surely be an invasion of their privacy.
- There is far too much building work going on in West Drive, particularly the conversion of bungalows to two storey dwellings.

The objectors have been notified of the planning control committee meeting.

#### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objections, subject to the inclusion of conditions relating to a construction traffic management plan, access and driveway arrangements and visibility splays.

**Drainage Section** - No response.

**The Coal Authority** - No objections, subject to the inclusion of conditions relating to coal mining.

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of

conditions relating to contaminated land.

**Waste Management** - No response.

**Pre-start Conditions** - Awaiting confirmation the agent agrees to the pre-commencement conditions.

### **Unitary Development Plan and Policies**

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle - Residential** - The National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. The Framework maintains the emphasis on identifying a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up of sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments.

The National Planning Policy Framework also sets out the Housing Delivery Test, which is an assessment of net additional dwellings provided over the previous three years against the homes required. Where the test indicates that the delivery of housing was substantially below (less than 75%) of the housing requirement over the previous years, this needs to be taken into account in the decision-taking process. The latest results published by the Government show that Bury has a housing delivery test result of less than 75%, and therefore this needs to be treated as a material factor when determining applications for residential development.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban area and there is residential development to the east, west and south. As such, the proposed development would not conflict with the surrounding land uses. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

**Design and layout** - The proposed dwelling would be 2 storeys in height and would be located next to the existing pair of semi-detached dwellings. The eaves of the proposed dwelling would match that of the adjacent house and as such, the height and scale of the proposed dwelling would maintain the rhythm and symmetry of the streetscene.

The proposed dwelling would be constructed from brick, cedar lap composite cladding and grey concrete roof tiles. The use of recessed areas on the front, the dormer style detail and the use of the materials would add visual interest. There are a variety of materials in the locality comprising brown brick, red brick, render and painted blockwork and as such, it is considered that the proposed materials would be acceptable and characteristic of the surrounding area. The footprint of the proposed dwelling would be an L shape ensuring that the proposed dwelling would be set back from the pavement and would respect the corner plot. As such, it would not be dominant and overbearing to the street scene.

Therefore, the scale and design of the proposed dwellings would be appropriate within the context of the area and would comply with UDP Policies H2/1 - The Form of New Residential Development and EN1/2 - Townscape and Built Design.

**Impact upon surrounding area** - The level of private amenity space for the proposed dwelling and the existing dwelling would be acceptable and there would be space within the rear gardens for bin storage. The existing fence and planting would be retained along the eastern boundary and a 1.8 metre high close boarded fence would be erected along the southern boundary. The vegetation on the front would be cut back to improve the visibility and 13.7 metres of vegetation and planting would be retained on the northern boundary. The proposed boundary treatments would match those in the locality and would be acceptable. Therefore, the proposed development would not be a prominent feature in the street scene and would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case.

There would be 13 metres between the rear elevation of the proposed dwelling and the side elevation of No. 28 West Drive and there would be 21.6 metres between the front elevation of the proposed dwelling and No. 51 West Drive.

There would be 22 metres between the blank gable of the proposed development and the gable elevation of No. 69 The Drive. All of these distances would be in excess of the aspect standard.

There are two windows at first floor in the gable elevation of No. 26 West Drive. These are secondary windows to the rooms and the agent has confirmed that these would be obscure glazes. As such, the proposed development would not have an adverse impact upon the amenity of the occupiers of this dwelling.

Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties.

**Trees** - There are 4 trees and shrubs on the northern boundary of the site. Two of the trees are a leylandii and an old Christmas tree and the other two trees are silver birch trees. It is proposed to remove all four trees as part of the proposed development. The removal of the silver birch and Christmas trees are required to achieve the visibility splay. The leylandii tree is not native and as such, there would be no objections to its removal. The applicant has confirmed they would replant 4 trees in the rear garden and as such, it is considered that the proposed development would not detract from the character of the area. Therefore, the proposed development would be in accordance with Policies EN1/2, EN1/3 and EN8/2 of the Bury Unitary Development Plan.

**Highways issues** - The proposed development would be accessed from West Drive and would involve the creation of a new drive for the proposed dwelling. The proposed site plan shows that the required visibility splay can be accommodated but involves the removal of some vegetation on the corner of the garden. There is an almost 90 degree bend in West Drive just before the proposed driveway, which would slow cars down in an area where the limit is 20 mph.

The Traffic Section has no objections, subject to the inclusion of conditions relating to a construction traffic management plan, access and driveway arrangements and visibility splays.

Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

**Parking** - SPD11 states that the maximum parking standards for 3 bedroom dwelling is 2 spaces per unit and 3 spaces per 4 bedroom dwelling.

The proposed development would be able to accommodate 2 spaces for the proposed dwelling and 2 spaces and a garage for the existing dwelling. As such, the proposed development would comply with the maximum parking standards and would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

### **Response to objectors**

- The issue relating to the location of the driveway and highway safety have been addressed in the report above.
- Whilst the road measures 4.75 metres in width, the pavements measure 3 metres. As such, there would be 7.75 metres for vehicles to manoeuvre on and off driveways, which would be in excess of the 6 metres required.
- The proposed dwelling would maintain the building line with No. 26 and would encroach by 1 metre beyond the building line with Nos 289 and 30 West Drive. As such, the proposed development would not be a prominent feature in the streetscene.
- The two previous applications for a dwelling were refused in 1988 and 1991 as the size of the site was inadequate to accommodate the proposed development and as such, would have an adverse impact upon residential amenity. The dwelling was not refused for access or highway safety issues.
- The proposed development would comply with the aspect standards and as such, there proposed development would not have a significant adverse impact upon residential amenity in terms of light or privacy.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local

Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1503.PL01, 1503.PL02, 1503.PL03A, 1503.PL03 C, 1503.PL04, 1503.PL05, 1503.PL06 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, together with the location and type of all rainwater goods shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.  
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-
  - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.  
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
5. No development shall commence until;
  - A scheme of intrusive site investigations has been carried out on site to establish the risks posed to the development by past coal mining activity, and;



- Any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.
- The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

Reason. The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework.

6. Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

Reason. The undertaking of intrusive site investigations, prior to the commencement of development, is considered to be necessary to ensure that adequate information pertaining to ground conditions and coal mining legacy is available to enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site. This is in order to ensure the safety and stability of the development, in accordance with paragraphs 178 and 179 of the National Planning Policy Framework.

7. No development shall commence unless and until surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The scheme should be in accordance with the submitted Surface Water Sustainable Drainage Assessment and must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

8. A landscaping scheme shall be submitted to, and approved by the Local Planning Authority prior to the commencement of the development. The contents of the plan should include native tree and shrub planting and the provision of bat bricks/tubes within the new development and bat and bird boxes. The approved scheme shall thereafter be implemented not later than 12 months from the date the building(s) is first occupied or within the first available tree planting season,; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 - The Layout of New Residential

Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

9. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:
- Photographic dilapidation survey of the footways and carriageways abutting the site access in the event that subsequent remedial works are required following construction of the development and as a result of any statutory undertakers connections to the new dwelling;
  - Proposed site hoardings (if proposed) clear of the visibility splays indicated on approved site plan reference 1503.PL03 Revision C;
  - Hours of operation, confirmation of delivery & construction vehicle sizes that can be accommodated on the residential estate roads and number of vehicle movements;
  - Parking on site of operatives' vehicles together with storage on site of construction materials, including any requisite phasing of the development to accommodate this;
  - Measures to ensure that all mud and other loose materials are not spread onto the adjacent adopted highways as a result of the groundworks operations or carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

10. The access and driveway arrangements indicated on approved plan reference 1503.PL03 Revision C, incorporating the provision of new footway/verge crossing, removal of the highway tree stump and any ground works required to reinstate the footway to its former condition as a result of the works at the interface with the adopted highway, demarcation of the limits of the adopted highway as a result of the creation of the access and provision of a 5.5m minimum length hardstanding in a porous/permeable material and/or measures to prevent the discharge of surface water onto the adopted highway, shall be implemented prior to the dwelling hereby approved being occupied.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

11. The visibility splays indicated on approved plan reference 1503.PL03 Revision C shall be implemented before the new driveway is brought into use/dwelling is first occupied and subsequently maintained free of obstruction above the height of 0.6m.

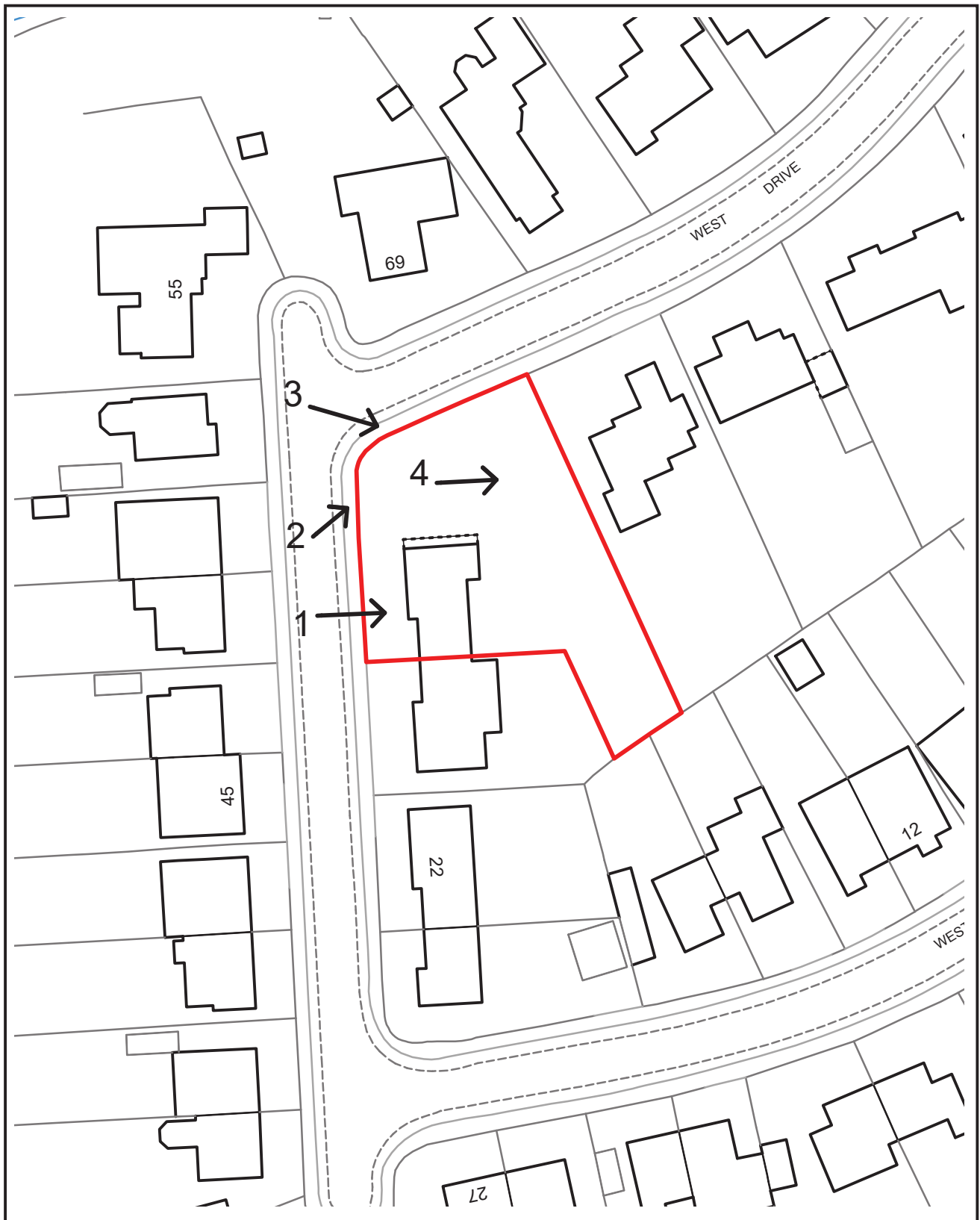
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design  
Policy H2/1 - The Form of New Residential Development  
Policy H2/2 - The Layout of New Residential Development

12. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Helen Leach** on **0161 253 5322**

## Viewpoints



### PLANNING APPLICATION LOCATION PLAN

**APP. NO 66226**

**ADDRESS: 26 West Drive  
Bury**

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**

**Bury**  
COUNCIL



66226

Photo 1



Photo 2



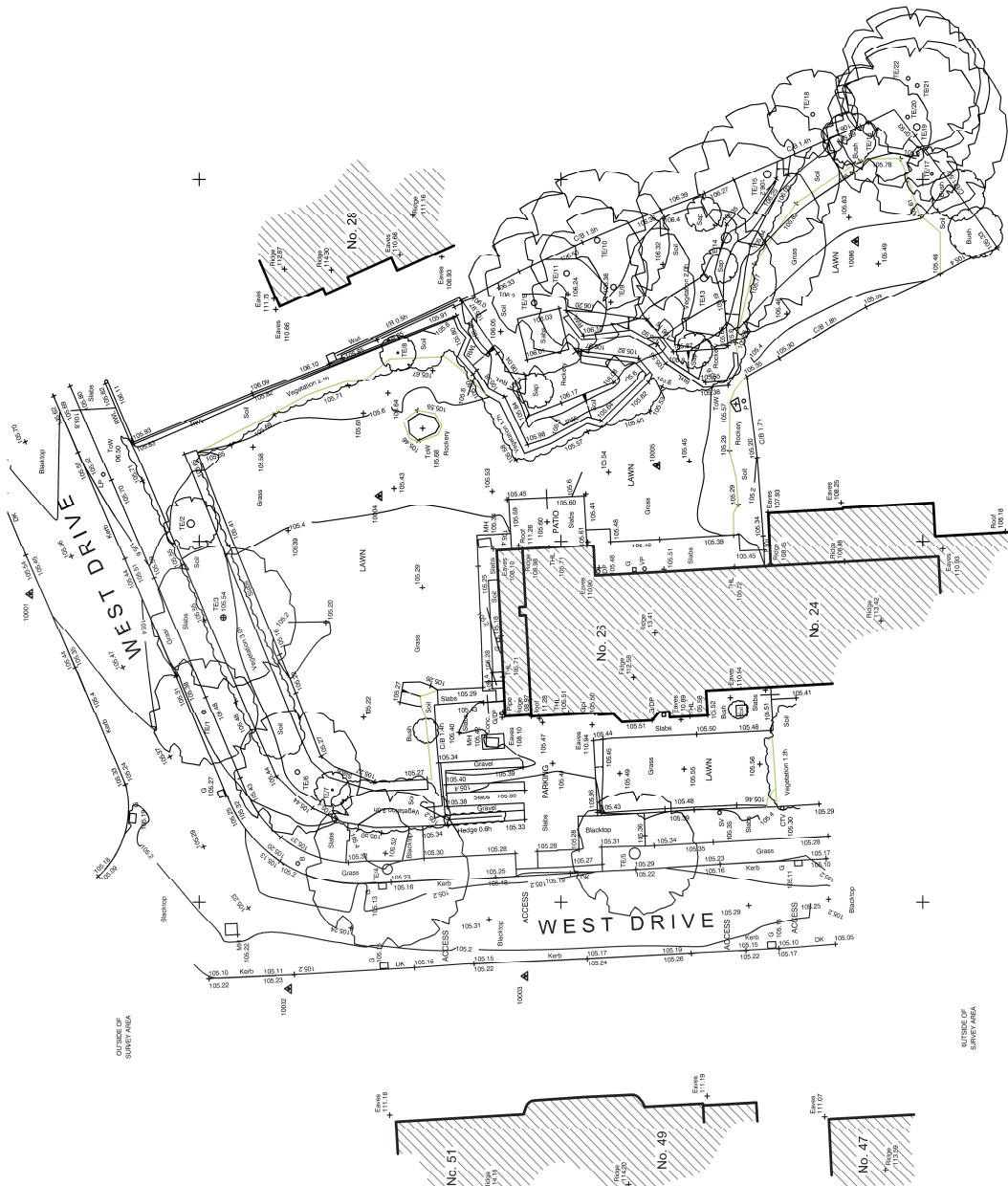


Photo 3



Photo 4





**HIGH PEAK ARCHITECTS LTD**  
 2nd Floor, Wharf House, Wharf Road, High Peak, Derby, SK23 7AD  
 Tel: 01663 107177 Website: highpeakarch.com Email: hpa@highpeakarch.com

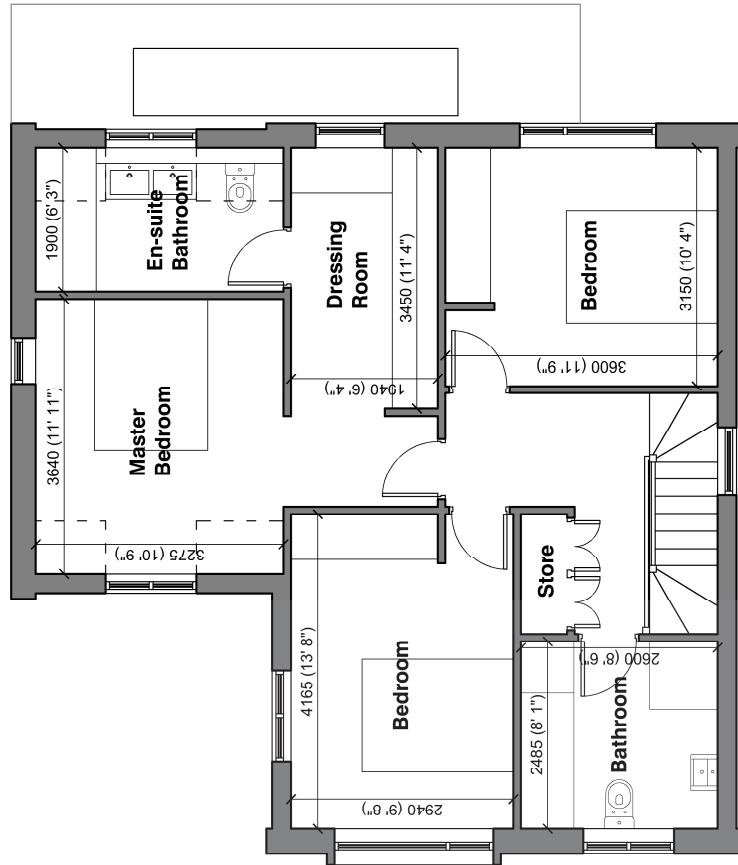
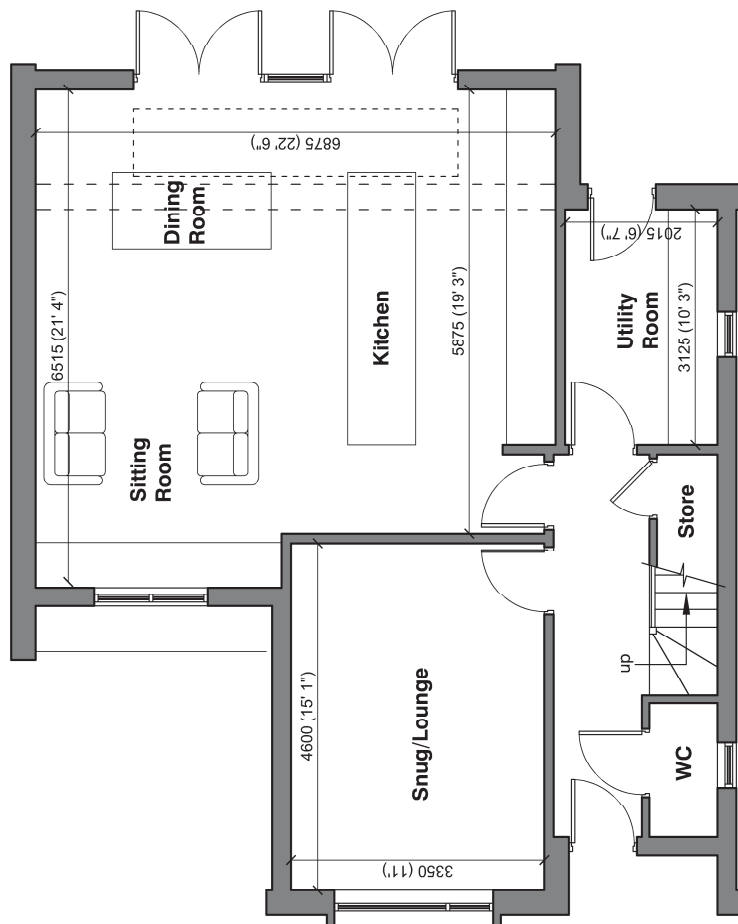
# **Existing Site Layout** **1503.PL02**

**New Dwelling**  
**West Drive, Bury**

Scale: 1:200 @ A2 Date: February 2020 DO NOT SCALE OFF THIS DRAWING Rev:







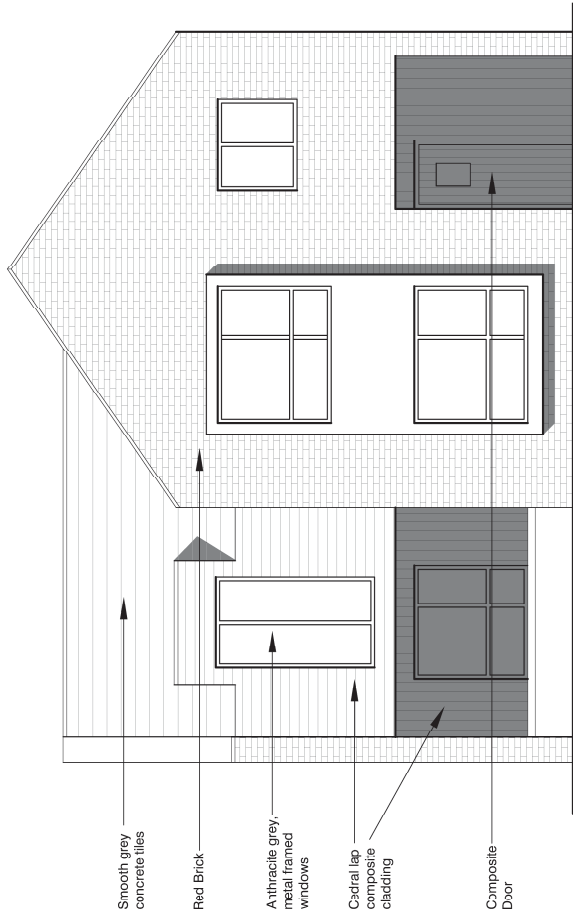
Revision A: Projecting window surround added to front elevation.



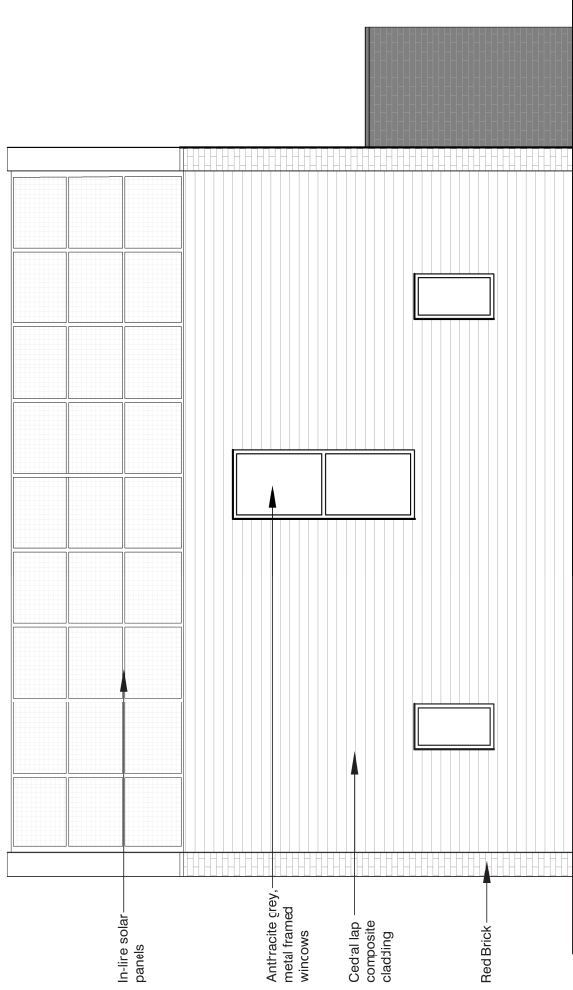
**HIGH PEAK ARCHITECTS LTD**  
 2nd Floor, Wharf House, Wharf Road, Whaley Bridge, High Peak, Derbyshire SK23 7AD  
 Tel: 01663 719711 Website: highpeakarch.co.uk Email: hpa@highpeakarch.co.uk

**New Dwelling**  
**West Drive, Bury**

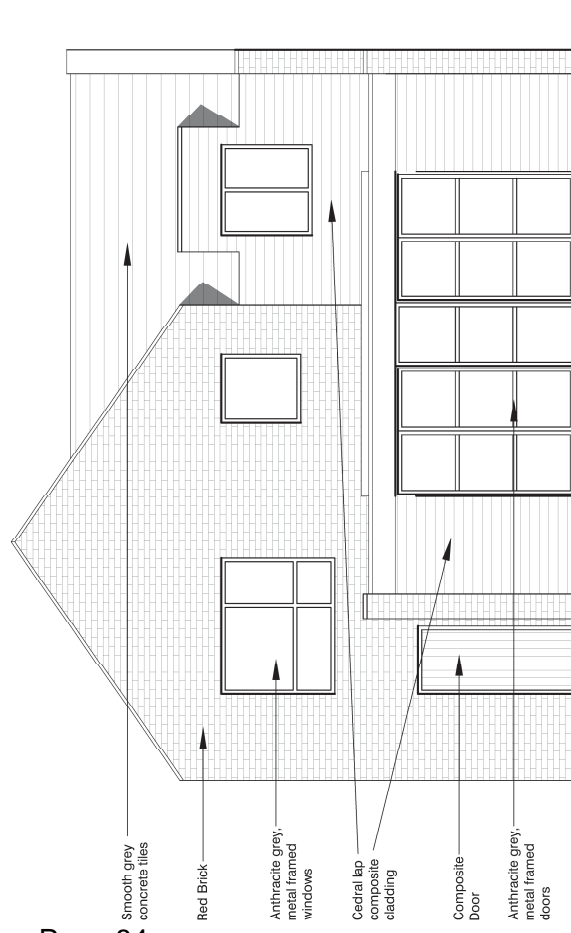
**Proposed Plans**  
**1503.PL04A**



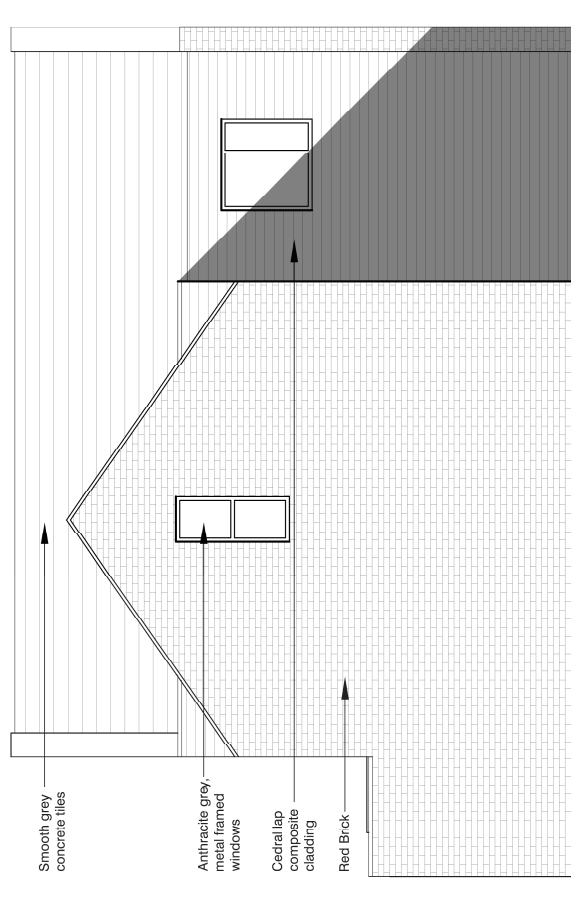
West (Front) Elevation



South (Side) Elevation



East (Rear) Elevation



North (Side) Elevation

Revision A: Eaves height increased by 300mm and projecting window surround added to front elevation.



HIGH PEAK ARCHITECTS LTD

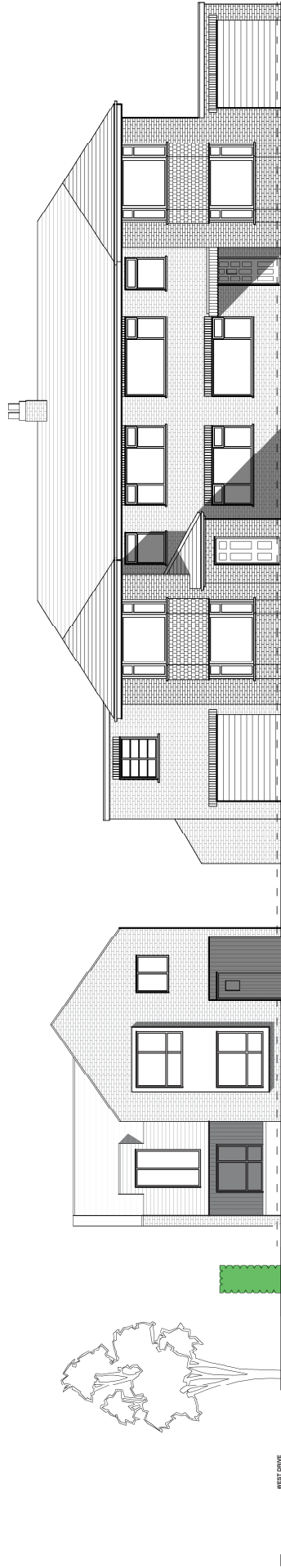
2nd Floor, Wharf House, Wharf Road, Whaley Bridge, Hg Peak, Derby, SK23 7AD  
Tel: 01663 719711 Website: highpeakarch.co.uk Email: hpa@highpeakarch.co.uk

New Dwelling  
West Drive, Bury

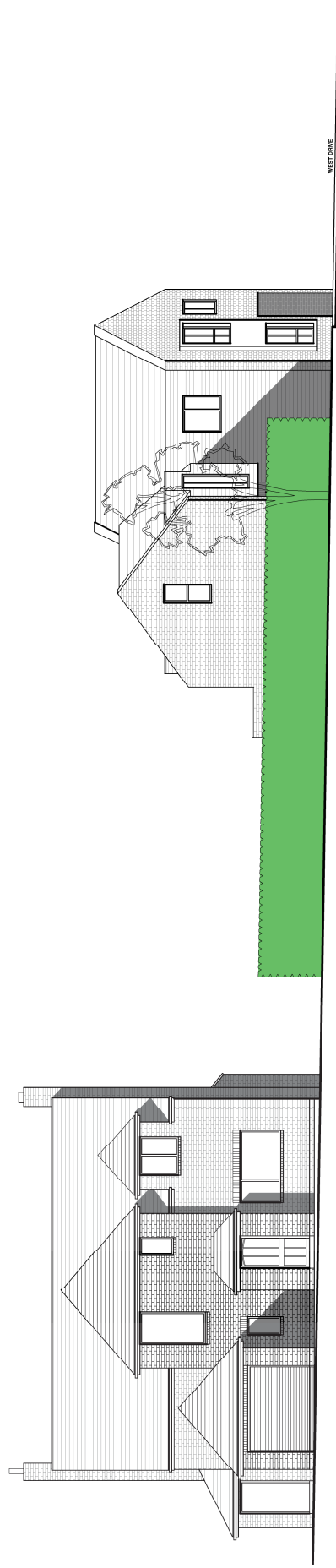
Proposed Elevations  
1503.PL05A

Scale: 1:30 @ A2 Date: January 2020 DO NOT SCALE OFF THIS DRAWING Rev.A





West Street Elevation



North Street Elevation

Revision A, 12.03.2021 Eaves height lifted by 300mm and projecting window surround added to front elevation



HIGH PEAK ARCHITECTS LTD  
2nd Floor, Wharf House, Wharf Road, Whaley Bridge, High Peak, Derbyshire SK23 7AD  
Tel: 01463 719711 Website: highpeakarch.co.uk Email: hpa@highpeakarch.co.uk

New Dwelling  
West Drive, Bury  
**Proposed Street Elevations**  
**1503.PL08A**

Scale: 1:100 @ A2 Date: November 2020 DO NOT SCALE OFF THIS DRAWING Rev. A

This page is intentionally left blank

**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 05

**Applicant:** Mr & Mrs Unsworth

**Location:** Land to the south of Moorbottom Road, Holcombe, Bury, BL8 4NS

**Proposal:** Variation of condition 12 of planning permission 64786 to remove the green sedum seeded roofing system to the agricultural building from the condition.

**Application Ref:** 66503/Full

**Target Date:** 05/04/2021

**Recommendation:** Approve with Conditions

### **Description**

The application site relates to a field which is used for the grazing of animals and is located on a parcel of land which is located in the Green Belt, Special Landscape Area and West Pennine Moors and is within the Holcombe Conservation Area.

The field comprises approximately 4 acres of land in a triangular form which is set on a hillside and forms the lower part of the hill which is locally known as Holcombe Hill, with Peel Monument, a Grade II Listed Building at the summit.

The access to the field is taken from the northern most corner of the field which forms the meeting of three roads, Moorbottom Road, Holcombe Old Road and Cross Lane. Holcombe Old Road runs along the eastern boundary of the field and is at a much lower level to the site. The road comprises a cobbled surface and is used by walkers and residents who live along this stretch, and where there is a row of stone built terrace cottages.

Moorbottom Road forms the western boundary and the highest part of the field and is separated by a dry stone wall. It is an unmade track used by walkers although there are some properties located along this stretch.

Cross Lane leads from the village centre along which are residential dwellings, some of a Listed status or are Non-Designated Heritage Assets (NDHA's).

Permission was granted in July 2020 by Planning Committee for the erection of an agricultural building, retention of a field shelter, pig arc and a replacement gate and gate post (planning reference 64786).

In the meeting, the Planning Committee voted to add condition 12, which required the submission of a landscaping scheme for approval to include native tree and shrub planting and proposals to incorporate a sedum seeded green roofing system to the agricultural building.

The applicant is now seeking to vary condition 12 of the approved application (64786), to remove the reference requiring the sedum seeded green roofing system to the agricultural building as part of the landscaping scheme and to use green fibre sheets alone.

The applicant has submitted a supporting statement for the justification for the removal of the sedum roof.

### **Relevant Planning History**

64786 - Erection of agricultural storage building, retention of field shelter, pig arc and replacement gate & gate post - Approved 29/7/2020.

### **Publicity**

Letter sent on 18/2/21 to 14 properties at Moorbottom road, Holcombe Old Road and Cross Lane.

Site notice posted 26/2/21

Press advert 25/2/21

36 representations received in total.

21 objections received from properties at Holcombe Old Road, Helmshore Road, Lumb Carr Road, Moor Road, Branch Road, Chapel Lane, Westwood Road, with the following comments -

- The agricultural building roof will be highly visible from Moorbottom Road. There's a gap of 3.5m between the stone wall and building. The floor area of the building is huge at 74.23sqm. The roof is bigger and will be an eyesore from the road.
- Tree planting is unlikely to disguise such a prominent building. It is also very likely that the new vegetation will be eaten by the animals. They have already stripped the bark from all the cut branches in the field.
- At the planning meeting Councillors described the proposed building as 'a monstrosity' and a Sedum roof as a way of mitigating some of the considerable problems presented.
- Sedum roofs are widely used as eco-friendly alternatives to traditional roofs. There is absolutely no reason why a Sedum roof cannot be put on this building. This field is at the heart of the Holcombe Conservation area and it is vital that we do all we can to preserve it.
- For what possible reason has the sedum roof proposal been abandoned? Already this site has been desecrated by the alpacas and is an eyesore on what was for many years a beautiful view in this conservation area.
- The application was only granted because 5 conditions were imposed. Several months on and with no change in circumstances the applicant now wants to introduce an unsatisfactory alternative - this makes a mockery of the system.
- Object to the variation of this plan, which will spoil a conservation area and beauty spot which has been enjoyed by locals and visitors for decades. There is no good reason to alter the original agreed plan.
- Trees and the unnatural covering will look inappropriate in this setting
- Artificial material will also discolour with weathering and become an eyesore
- Article 4 - important to keep areas such as Holcombe safe from unsightly development
- Its time to show some backbone lease planning department and stop this maddeness
- Should not be allowed in such a beautiful area and the applicant is playing the development game to in time build a residential dwelling
- Change of roof material from eco-friendly to artificial fibre
- No conditions have yet been satisfied , 8 months on, and the Committee needs to view this context as lack of respect for both the Council and the Community.
- I believe there is time breach of the order to manage animal waste - the manure heap is now twice the size of the original and is sited right in front of the cottages below in Holcombe Old Road stenching the atmosphere.
- This barn will sit right ahead of the view from the Car Park on Lumb Carr Road, under Peel Tower, and walkers from the Car Park will be confronted by its dominance, as they walk all along the ginnel facilitating crossing from Lumb Carr Road to Holcombe Old Road.
- With respect, I ask that all Committee members who agreed to the Case Officer's proposal to accept last July, walk along Moorbottom Road before the planning meeting, to view the current state of Little Holcombe Close, this ancient pasture. All its openness is destroyed.
- Now there is not one, but 3 pig arcs. Are these going to join the barn or litter the field permanently. ? No other sheep in Holcombe require such. The Committee are responsible for this desecration of the Conservation Area, and the foisting on the

Community of a 'Fake Zoo' .

- Visitors will flock, parking on Cross Lane and turning at the junction, changing the nature of this historic beautiful area to everyone's detriment
- On the website of The Royal Horticultural Society there appears a list of the benefits of sedum roofs. Amongst these are- reduced problems of water run off- a significant part of what used to be a lovely meadow is now a quagmire and rainwater from a felt roof is likely to add to the problem; building insulation- improved insulation must be of benefit to the stock; aesthetic benefit - the application site is in a conservation area and is on a main point of access to the National Trust's Holcombe Moor estate, providing habitats for birds and insects and given the location of the site, any measure which encourages wildlife and natural diversity should be encouraged
- Although referred to as fibre sheets in the proposal above, the detailed document describes a corrugated cement construction coloured green, The detailed report cites cost as the driver for this variation. As a resident of this beautiful Article 4 conservation area, I am obliged to replace my windows with wooden ones rather than the much cheaper UPVC variant. I accept this as it maintains the aesthetic appearance of the building.
- Any plantings would soon be eaten by the animals in the field, even if the applicant ever planted them.
- If the applicant will not comply, then the original permission should surely be rescinded.
- The field at the heart of the Holcombe Conservation Area is now a mess and the very least the applicants can do is to replace the large area of meadow that is going to be dug out with the equivalent area of a natural sedum roof on the building. This will allow the building to blend into the meadow when viewed from above.
- The Planning Department should be in the vanguard of promoting these roofs on agricultural buildings particularly in such ecologically sensitive areas as the centres of Conservation Areas.
- Condition 3 specifically requires the full details of the proposed cut and fill works and height and form of the bund - still no details of the intended finish of the structure create by the development - large concrete blocks have been brought to the field which would be wholly inappropriate. The landscaping scheme would not be sufficient to counteract this length and height of structure especially if finished in concrete blocks.
- The applicant submits that the tree and shrub planting proposed in response to condition 12 will be sufficient, yet they do not include any protective fencing to keep their livestock (or the numerous local wild deer) from grazing the planting, very oddly having specifically amended the scheme under revision A of the drawing to remove this vital measure. Details of protective fencing must be included if this scheme is to have any chance of lasting effect. Nor does the submission include "a timetable for implementation and maintenance details" despite this being specifically in the condition.
- The submitted application form refers only to condition 5 presumably in error as it is condition 12 which makes it a requirement of the permission granted by the Planning Control Committee. Given the sensitivities of the site in an especially prominent and public location in the Holcombe Conservation Area, the size and projection of the roof in very full view adjacent the Moorbottom walk makes this a justified and necessary measure.
- May I ask that committee put forward an alternative natural roofing system if the application for a sedum roof is not upheld. I have seen a sedum roof that has lasted if maintained correctly at a minimum effort from the owner, but maybe since this is a conservation area that we are trying to keep as natural as possible then alternative could be suggested.
- Oddly there seems to be a raft of Bury based supporters now popping up on the portal. Granted democratic factors permit far away comments across the Borough - but recent Government legislation states that the Local Community must actively support any planning application. Bar one supporter in Holcombe , numerous Community objections have been lodged - so clearly enthusiasm is absent, and this positive level of opposition should be heavily weighted.
- The whole point of a sedum roof is that the sedum forms a weed-suppressing carpet that insulates, holds water and of course softens the look of a hard roof to better blend into the landscape. never Pesticides are not required. This is one of the few mitigating



points that seemed to justify approval by the Committee trying to reduce the impact of this 'monstrosity' , as termed by a Committee Member, regrettably heading to our Conservation Area.

15 letters of support received from Cliff Mount, Falbarn Crescent, Church Street, Haslam Street, Rupert street, Larch Street, Whitehead Crescent, Burrswood avenue, Fernhill Street, Lathomn Street, Cross Lane with the following comments -

- I support the use of green fibre sheets for this agricultural building as it is in keeping with other buildings in the immediate area and will provide an appropriate, easy to maintain animal shelter. The alternative suggestion of a sedum plant roof would be out of place in the landscape and require significantly more structural work creating more disturbance for local residents and animals.
- Nowhere else in the surrounding area are any agricultural roofs of the sedum type. The suggestion was a throw away comment by a councillor at the planning committee and it suddenly became part of the approval, in spite of the recommendation for approval being a conventional roof. If anything a sedum roof will simply draw more attention to the building than take it away
- As having horses myself I do not feel a sedum roof is necessary I have not seen an agricultural build in the area with this type of roof, I ride my horses around and pass this field, there is a big indoor school on the farm next to this land which doesn't have a sedum roof, so do not see the benefits on this building, having a sedum roof I've also noticed other animal housing with no sedum roof, I feel this would be an unfair perusal
- The roof could become unsightly due to over growth of weeds, grass etc drawing more attention to it.
- When the planting of the trees and bushes as stated in the landscaping report are completed the roof will not be visible from Moorbottom Road.
- A sedum roof would not be suitable as it would require extensive structural alterations to the original plan, thus impacting more on the environment. Also, sedum is not a native plant to the area, it would draw attention to the structure and look out of place. The green fibre cement panels would be more in keeping with the surrounding agricultural buildings and would blend in better with the environment.
- The landscape report states there will be planting of various trees and shrubs etc to minimize the appearance which to me shouldn't make a difference. This is agricultural land to have an agricultural building to house animals in winter.
- At the end of the day it is a field that is providing a home for animals, that are looked after well and will be looked after even better with shelter, with a variation from a sedum roof. The owners of this land need to be given the opportunity to provide the best for their animals with support from the people in the area, not shot down at every opportunity. If people just chatted with the owners they would know what was happening instead of criticising.
- Will visually last longer - living roofs don't
- Full support of the variation of material for the roof of the building which is approximately the size of two stables which is to house the five alpacas in winter to keep them from the elements of the weather and to protect the land.
- I have not seen any buildings with a sedum roof in the area, so why is this one needed?
- Why is this being made into a big issue ?

Amended letters sent on 29/3/21 to those originally consulted and those who have made representations to the application, to clarify that the description of the application should refer to Condition 12 (not condition 5), to remove the reference to the sedum seeded roofing system from the landscaping scheme.

Those who have made representations have been informed of the Planning Control Committee meeting.

**Statutory/Non-Statutory Consultations**  
**Conservation Officer** - No objection

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions

## **Unitary Development Plan and Policies**

NPPF	National Planning Policy Framework
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN5/1	New Development and Flood Risk
EN8/1	Tree Preservation Orders
EN9/1	Special Landscape Areas
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
OL4/5	Agricultural Development
OL7/2	West Pennine Moors
EN5/1	New Development and Flood Risk
EN7/3	Water Pollution
EN7/5	Waste Water Management
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt

## **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

### **Principle of the development for the agricultural building**

The principle of the development has been accepted in the grant of planning permission reference 64786.

The issues relevant to this application are focused on the impacts on the visual amenity of the Green Belt, Special Landscape Area, West Pennine Moors and Heritage Assets.

UDP Policy OL4/5 - Agricultural development requires buildings or structures to be sited in a manner to minimise their visual impact on the landscape with regard to height, materials, landform and landscaping, should relate well to existing farm buildings and not have an unacceptable impact on amenity.

UDP Policy EN9/1 - Special Landscape Areas states that development in such areas will be strictly controlled and required to be sympathetic to its surroundings in terms of visual impact. High standards of design, siting and landscaping will be expected. Unduly obtrusive development will not be permitted in such areas.

SPD8 provides more detailed advice on new buildings in the Green Belt and in particular with regards to the siting, position, scale, materials and form of a development.

## **Visual impact**

### **Approved development**

In terms of the approved development, the agricultural building would be positioned at the top end of the applicant's field set against the dry stone boundary wall. The land at this point would be cut away and the building would be set into the sloping landform. The earth from the cut and fill operation would be used to create a shallow mound or bund which would be moulded and shaped into the land to blend with the existing topography.

The agricultural building at a maximum height of 4m and length of 12m would be of a simple appearance, constructed of timber boarding with a monopitched roof.

The debate centres on whether the sedum green roof is necessary, essential and reasonable to provide to deem the agricultural building as acceptable in terms of its visual impact.

#### Applicant's case

The applicant has submitted a supporting statement to justify the removal of the green sedum seeded roofing system to the agricultural building from condition 12 (landscaping). For clarity, it is proposed to utilise green coloured fibre sheets.

The justification is summarised as follows:

- The sedum roof would require a more expensive form and significantly more robust construction in order to support the heavier roof material which would also be difficult to maintain in good condition.
- The proposed fibre cement roof sheeting would be an appropriate material for this type of agricultural building. With a matt finish, the roof would be a non-reflective material in a soft green to blend into the landscape.
- The roof would have a mono-pitched design, tilting westwards and therefore the roof plane would not be visible from the east.
- Views from the south and north would be oblique and views further reduced by the planted mound/bund.
- The roof would be seen from Moorbottom Road to the west, but not from a significant stretch of this road.
- There would be no views of the roof from paths around Peel Tower.
- In terms of colour and texture, a sedum roof would require a different type and finish of landscaping and therefore would not match or reflect the existing vegetation on the surrounding fields or hillside in the vicinity.

The applicant's statement also includes assessment of the visual impact of the proposed build and from which directions the roof would be visible. The tilt of the monopitched roof westwards, the cut and fill operation, the screening of the building by the boundary wall and the topography of the surrounding landform would result in relatively minimal views and the roof would only be perceptible from areas to the east and obliquely from the north and south.

In the assessment of the applicant's case and justification, there are a number of matters to consider.

#### **Assessment of the proposal**

Character of the development - The agricultural building would be a simply designed rectangular shaped build with a sloping monopitched roof and close timber boarded elevations and of an appearance typically used for agricultural purposes found within rural countryside locations. Fibre sheeting is also a commonly used roof material for agricultural buildings and as such considered to be an appropriate solution within Green Belt settings.

It is rare to see sedum seeded roofs to agricultural buildings and there are none in the vicinity. By introducing a more unusual finish to the roof of the agricultural build, it is considered that the proposal would add an uncharacteristic feature, and one which would more likely to draw attention to the building rather than detract away from it's appearance.

Setting and views - The agricultural building would be set into the upper part of the sloping field in a cut and fill engineering operation. The building would be sited close to the western boundary and in front of the stone wall which runs along this length of Moorbottom Road. This would result in the structure nestling within the field. It is also already approved to form a bund which would be moulded within the existing topography to the east of the build

which would emulate the surrounding landform partly screening views from the east and approaches from the north and south. The development includes native tree planting, sporadically planted around the bund and building and along the boundary wall to the west, which would also provide some additional screening of the development.

The roof of the building would have a monopitch slope and from long range views, it would be barely perceptible. As the roof would tilt westwards towards the boundary wall, it would not be visible from the east, and from the north and south it is considered that views would be oblique.

Closer up and from both approaches along Moorbottom Road, the roof would be more visible. However, the build would be sensitively sited in the field, located behind the boundary wall and set into the land and views of the building would only be for brief moments over a relatively short distance along this route. Native planting between the building and western boundary would also partially screen the build.

The building would measure 12m long by 6m wide and 4m at its highest point. For all intents and purposes it would be modest in size for a building for this type of agricultural use and it is considered that the footprint and thereon the roof size would not cover a significantly large area and would not have adverse visual impacts.

#### Practical considerations

The proposal to incorporate a seeded roof would be more impractical to incorporate, adding a heavier load to the build requiring a sturdier structure and more substantial works to form and secure the building within the land. Notwithstanding additional expense, which is not material to this planning application, the engineering operation of constructing the building would likely be more involved. The use of a fibre sheet material would allow the build to be constructed in a more simplistic manner requiring less structural interventions.

In addition, a sedum roof would require more maintenance including watering and re-planting should this ever fail or die-off in the future. A sedum roof is also more susceptible to leakages resulting in damages and rotting of a wooden structure.

#### **Conclusion of visual impact**

It is appreciated that when considering the original application for the development, the Planning Committee wanted to be assured that controls were in place to minimise the visual impacts of the building on the area.

However, on balance, and in consideration of the scale of the building, its sensitive siting and the character and nature of the development, for the reasons above, the requirement to provide a sedum seeded roof would not be necessary or reasonable to render the development as acceptable, and that a fibre sheeted solution would be an appropriate solution.

As such the proposal is considered acceptable and would comply with UDP Policies OL1/2, OL4/5, OL7/2, EN1/1 and EN9/1 and the principles of the NPPF.

#### **Heritage**

Section 66 of the Planning (Listed Building and Conservation Areas) Act 1990 requires LPA's in the exercise of their planning functions to have regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities in the exercise of their planning functions to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

Paragraphs 193 - 194 states that when considering the impact of a proposed development

on a heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Any harm should require clear and convincing justification.

UDP Policies EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control seeks to preserve or enhance the special character or appearance of the area. In considering proposals, regard will be given to factors including the nature of the development in terms of its design and appearance and relationship to the visual qualities of the area.

EN2/3 - Listed Buildings - Actively seeks to safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

In terms of mitigation of visual impact, the approved building would still have the same visibility regardless of the roof type used. From a conservation area perspective the impact on the character and appearance of the conservation area would be neutral by virtue of it being feature of an agricultural building common place on agricultural buildings in rural settings.

It is therefore considered the proposed development would preserve the character of the the Holcombe Conservation Area and protect the setting of Listed Buildings and would therefore comply with the principles of the NPPF and UDP Policies EN2/1, EN2/2 and EN2/3.

**Greater Manchester Ecology Unit** - Whilst not consulted on this application, GMEU have responded to the application for the discharge of condition 12 of planning approval 64786. There are no objections to the part discharge of the planting plan which is using native species appropriate to the area.

GMEU did not recommend the sedum roof but state there would be no objection to the condition being varied to remove this element.

### **Response to objections**

- The application for the discharge of conditions is currently being assessed by the LPA (planning reference 64786).
- In terms of condition 12 for the submission of a landscaping scheme, the applicant has submitted a timetable, to carry out the landscaping in Autumn/Winter 2020/2021 or dependant on the timing of the discharge of condition, in the next first available planting season of Autumn/Winter 2021/2022. The applicant also states the trees would be secured in place by a support stake and protected by a tree guard to prevent animals damaging young trees.
- An objector has asked committee put forward an alternative natural roofing system if the application for a sedum roof is not upheld. It is for Planning Committee to consider the application proposals as submitted. However, Planning Committee can propose an alternative motion on which to vote. Ultimately, as the condition was imposed by Planning Control Committee it is for them to decide if this condition can be varied by allowing a different roof type.
- All other issues raised have been covered in the above report

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in



**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. The development shall be carried out in accordance with the schedule of works and timetable submitted for condition 3 of planning application 64786. The Applicant shall notify the Local Planning Authority of the commencement of development and the implementation thereof.  
Reason. In the interests of visual amenity and to protect the setting of the Holcombe Conservation Area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas and OL4/5 - Agricultural Development.
3. Notwithstanding the provisions of the approved plans, no development shall commence unless and until full details of the proposed cut and fill works and the height and form of the bund, including a methodology, together with details of the appearance of any exposed structures, grading and resulting topography of the land on all sides of the cut and fill works and the bund has been submitted to and approved by the Local Planning Authority. The approved details only shall be implemented and approved land form and topography only shall be retained as approved.  
Reason. In the interests of visual and residential amenity and to preserve the setting of the Holcombe Conservation Area, Area of Special Landscape and the character of the Green Belt pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
4. The pig arc hereby approved shall be maintained a matt black colour.  
Reason. In the interests of visual amenity and to preserve the openness of the Green Belt and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
5. The development hereby approved shall be carried out in accordance with the details of the materials submitted for the discharge of condition 5 of planning application 64786, for an external facing material of vertical timber boarding in a dark stained colour and fibre sheeting roof in matt soft green.  
Reason. In the interests of visual amenity and to preserve the openness of the Green Belt and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas, OL1/2 - New Buildings in the Green Belt and OL4/5 - Agricultural Development.
6. The development hereby approved shall be carried out in accordance with the details submitted for condition 6 of planning application 64786 for the replacement of the 5 bar steel galvanised gate to the north access of the field, as shown

located on approved plan 'Proposed Location Plan Version 3'. The existing gate posts are to remain and the replacement gate shall be hung on the existing gate posts.

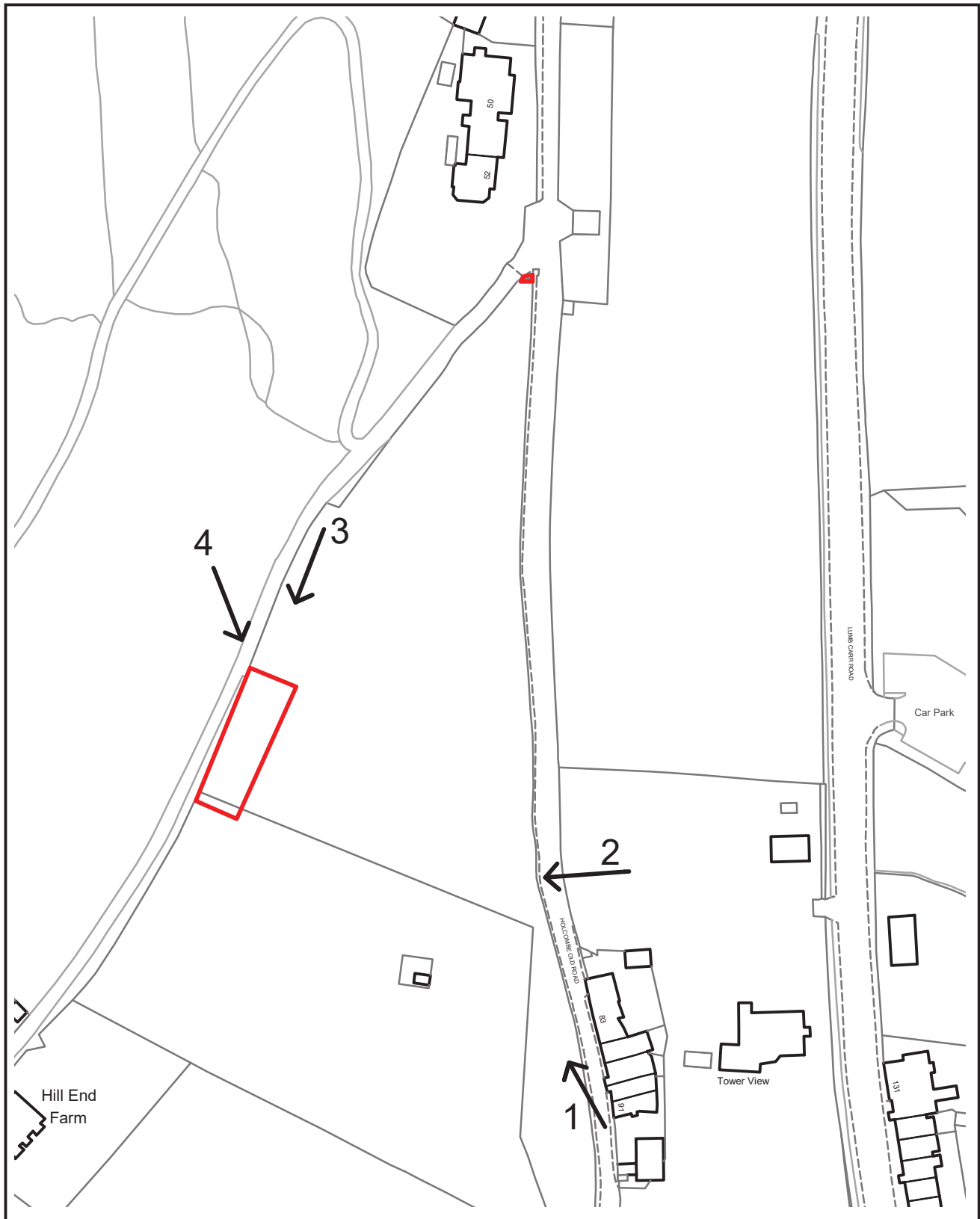
Reason. In the interests of visual amenity and protect the special character of the area pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control and EN9/1 - Special Landscape Areas.

7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Class B of Part 6 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To safeguard and protect the visual amenity and special character of the area to ensure that future inappropriate development does not occur pursuant to policies of the Unitary Development Plan listed.
8. This decision relates to drawings - Proposed Location plan V3; Proposed agricultural building C3956-1-1A; landscape layout 454/01 rev E; Cross sections 454/02 rev A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
9. The development hereby approved shall be carried out in accordance with condition 9 of planning application 64786 to include the provision of a surface water collection tank. The approved scheme only shall be implemented on first use of the development hereby approved and thereafter maintained.  
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
10. The development hereby approved shall be carried out in accordance with the details submitted for condition 10 of planning application 64786 for a Construction Traffic Management Plan  
Reason. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.
11. Should the land cease to be used for the agricultural purposes or the structures hereby approved cease to be required or used, the approved structures shall be removed from site and the land re-instated to its former state, and within 3 months of it ceasing operation.  
Reason: In the interests of the visual amenity pursuant to Policies EN1/1 - Visual Amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control, EN9/1 - Special Landscape Areas and OL4/5 - Agricultural Development.
12. The development hereby approved shall be carried out in accordance with the details and timetable submitted for condition 12 of planning application 64786 and in accordance with Landscape Layout drawing 454/01 Rev E and timetable for implementation within the first available planting season of Autumn/Winter 2021/2022.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies OL4/5 - Agricultural Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury

Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66503**

**ADDRESS:** Land to the south of Moorbottom Road  
Holcombe

**Planning, Environmental and Regulatory Services**

**(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.**



**Bury**  
COUNCIL

Photo 1





66503

Photo 2



Photo 3



66503

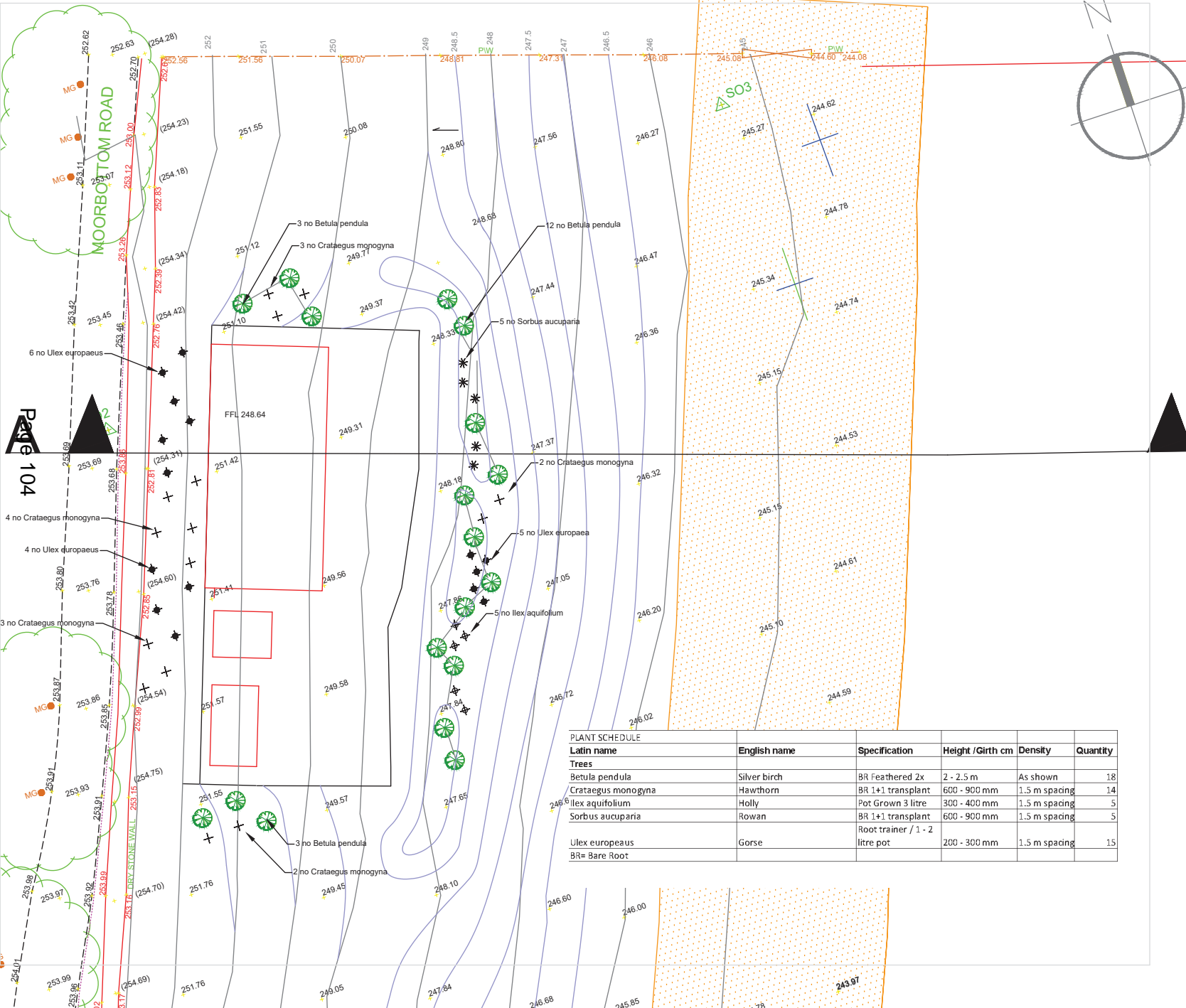
Photo 4





Proposed Location Plan V3














Grass seed mix: Following completion of works, mounding shall be re-seeded with a seed mix suitable for acid soils such as Heritage Acid Soils 80% Grass Seed Wildflower Mix Reference: 130JC4116-PRO by John Chambers wildflower seed, [www.johnchamberswildflowers.co.uk](http://www.johnchamberswildflowers.co.uk). to be sown at a rate of 5g per m<sup>2</sup>.

See separate specification document for more detail.

#### LEGEND

-  Proposed feathered trees each to be protected by min 1.5 m high tree guard
-  Proposed native tree and shrub transplants each to be protected by min 1.2 m high tree guard
-  Ilex aquifolium / holly
-  Ulex europaea / Gorse
-  Crataegus monogyna / hawthorn
-  Sorbus aucuparia / rowan
-  Wayleave for gas pipe
-  Existing contours
-  Proposed contours

Note: see also drawing 454/02 showing cross sections

PLANT SCHEDULE					
Latin name	English name	Specification	Height / Girth cm	Density	Quantity
<b>Trees</b>					
Betula pendula	Silver birch	BR Feathered 2x	2 - 2.5 m	As shown	18
Crataegus monogyna	Hawthorn	BR 1+1 transplant	600 - 900 mm	1.5 m spacing	14
Ilex aquifolium	Holly	Pot Grown 3 litre	300 - 400 mm	1.5 m spacing	5
Sorbus aucuparia	Rowan	BR 1+1 transplant	600 - 900 mm	1.5 m spacing	5
Ulex europaeus	Gorse	Root trainer / 1 - 2 litre pot	200 - 300 mm	1.5 m spacing	15
BR= Bare Root					

Rev D amendment to mounding, planting added behind stables  
 PB 21.1.21  
 Rev C amendment to species PB 5.1.21  
 Rev B amendment to planting PB 22.2.20  
 Rev A Removal of temporary protective fencing PB16.12.20

**Penny Bennett**  
*Landscape Architects*

Middle Bottomley, Bottomley Road  
 Todmorden Lancashire OL14 6QZ  
 Tel 01706 812480  
[penny@pblandscape.co.uk](mailto:penny@pblandscape.co.uk)

Job title Drawing No

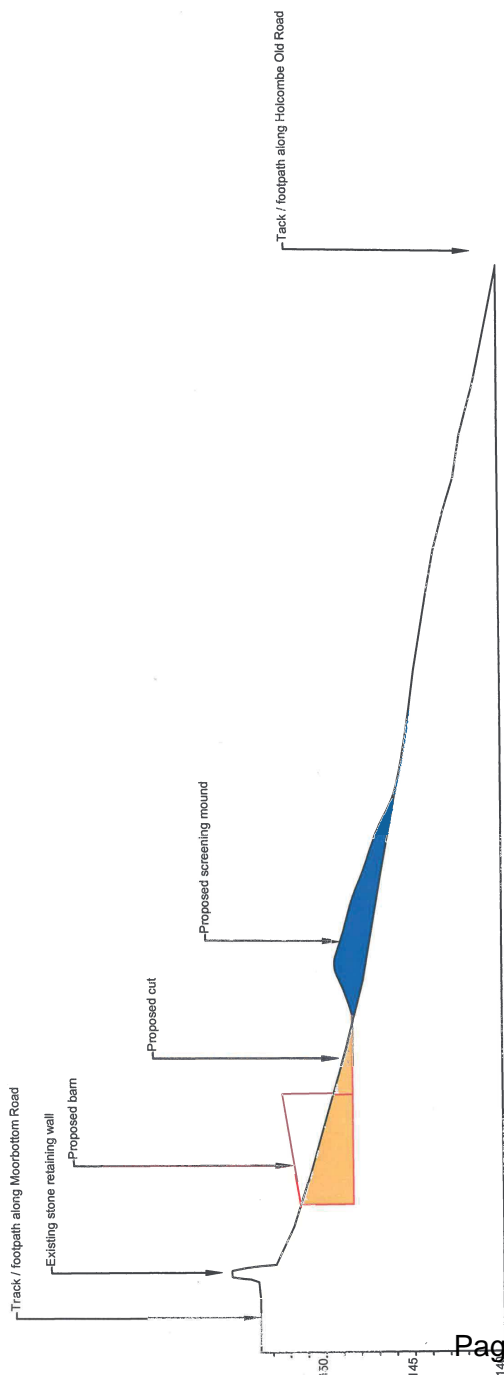
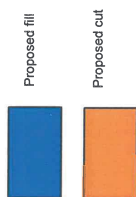
BARN AT MOORBOTTOM ROAD, BURY 454/01

Drawing title  
 LANDSCAPE LAYOUT

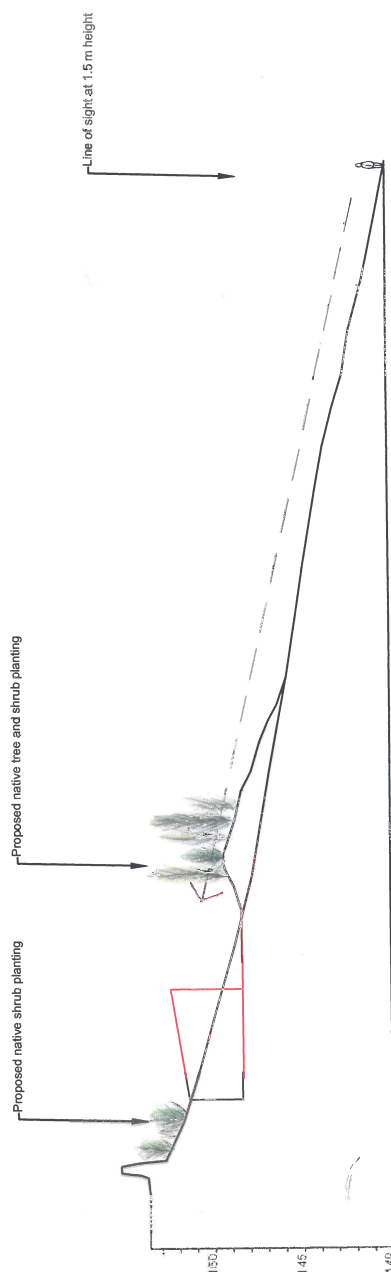
Scale @A3 Date DECEMBER 2020 Rev D



LEGEND



SECTION A-A SHOWING PROPOSED EARTHWORKS



SECTION A-A SHOWING PROPOSED PLANTING

Rev A  
Additional annotation, removal of fencing PB 21.1.21

**Penny Bennett**  
*Landscape Architects*

Middle Bottomley Bottomley Road  
Totternorden OL14 6QZ  
Tel 01706812480  
e mail: penny@pblandscape.co.uk

Job Title  
BARN AT HOLCOMBE  
Drawing No  
454/02

Drawing title  
CROSS SECTIONS  
Scale  
1:200  
Date  
10/12  
Rev  
A

This page is intentionally left blank

# REPORT FOR NOTING

Agenda Item 5

**Bury**  
COUNCIL

**Agenda  
Item**

**5**

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>20 April 2021</b>
<b>SUBJECT:</b>	<b>DELEGATED DECISIONS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	The report lists: Recent delegated planning decisions since the last PCC
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A
<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

**TRACKING/PROCESS****DIRECTOR:**

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

---

**1.0 BACKGROUND**

This is a monthly report to the Planning Control Committee of the delegated planning decisions made by the officers of the Council.

**2.0 CONCLUSION**

That the item be noted.

---

**List of Background Papers:-None****Contact Details:-**

David Marno, Head of Development Management  
Planning Services, Department for Resources and Regulation  
3 Knowsley Place  
Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

# Planning applications decided using Delegated Powers

## Between 13/03/2021 and 09/04/2021



### Ward: Bury East

**Application No.:** 66130    **App. Type:** FUL    24/03/2021    Refused  
**Location:** Horners Bury Ltd, Heywood Street, Bury, BL9 7DZ  
**Proposal:** Change of use from vacant car sales showroom to retail warehouse

**Application No.:** 66369    **App. Type:** FUL    26/03/2021    Approve with Conditions  
**Location:** The Bridles, 2 Riders Gate, Bury, BL9 7RD  
**Proposal:** First floor dormer extension at side; External works including replacement of shutters at front with doors and windows; Landscaping at front of property including external wall

**Application No.:** 66408    **App. Type:** ADV    16/03/2021    Approve with Conditions  
**Location:** Gable of 2 Rochdale Old Road, Bury, BL9 7LQ  
**Proposal:** Replacement of existing non-illuminated 48 sheet billboard with internally illuminated digital display D-poster sign

### Ward: Bury East - Moorside

**Application No.:** 66151    **App. Type:** FUL    19/03/2021    Approve with Conditions  
**Location:** Land at Broomses Farm, Walmersley, Bury, BL9 6UW  
**Proposal:** Erection of 20,000 Litre non-portable water tank as part of an irrigation project for Walmersley Golf Club

**Application No.:** 66359    **App. Type:** FUL    17/03/2021    Refused  
**Location:** 42 Walmersley Road, Bury, BL9 6DP  
**Proposal:** Change of use of vacant ground floor (43m2) from taxi booking office to hot food takeaway

**Application No.:** 66454    **App. Type:** ADV    26/03/2021    Approve with Conditions  
**Location:** 83 Rochdale Old Road, Bury, BL9 7LP  
**Proposal:** 1 no. digital advertisement display unit

**Application No.:** 66471    **App. Type:** FUL    17/03/2021    Approve with Conditions  
**Location:** 15 Sycamore Drive, Bury, BL9 6TQ  
**Proposal:** First floor extension at rear

**Application No.:** 66547    **App. Type:** FUL    08/04/2021    Approve with Conditions  
**Location:** 125 Walmersley Road, Bury, BL9 5AY  
**Proposal:** Conversion of existing nursery/creche (Class E(f)) to 7 no. residential apartments with rear dormer and external alterations

### Ward: Bury East - Redvales





---

**Application No.:** 66260    **App. Type:** FUL    30/03/2021    Approve with Conditions  
**Location:** 1 Grosvenor Street, Bury, BL9 9BJ  
**Proposal:** Two storey extension at front, two storey extension at side/rear with rear dormer and single storey rear extensions

---

**Application No.:** 66473    **App. Type:** LDCP    17/03/2021    Lawful Development  
**Location:** 54 Leyton Drive, Bury, BL9 9TS  
**Proposal:** Lawful development certificate for proposed erection of single storey side extension

---

**Application No.:** 66479    **App. Type:** FUL    26/03/2021    Approve with Conditions  
**Location:** 199 Parkhills Road, Bury, BL9 9AJ  
**Proposal:** Two storey side extension; Single storey front extension and porch; Two/single storey rear extension; Widening of driveway; Render to external elevations

---

**Application No.:** 66516    **App. Type:** LDCP    26/03/2021    Lawful Development  
**Location:** 479 Manchester Road, Bury, BL9 9SH  
**Proposal:** Lawful development certificate for proposed detached garage

---

**Application No.:** 66535    **App. Type:** ADV    30/03/2021    Approve with Conditions  
**Location:** Unit A, Pilot Mill, Alfred Street, Bury, BL9 7EJ  
**Proposal:** Advertisement consent for proposed double sided non illuminated post sign

---

Ward: **Bury West - Church**

---

**Application No.:** 66332    **App. Type:** FUL    16/03/2021    Approve with Conditions  
**Location:** 47 Greenhill Road, Bury, BL8 2LJ  
**Proposal:** Single storey extension at side and single storey garden room extension at rear

---

**Application No.:** 66360    **App. Type:** FUL    09/04/2021    Approve with Conditions  
**Location:** Meadowcroft Farm, Lowercroft Road, Bury, BL8 3PD  
**Proposal:** Change of house type application for 64308 to provide dormers at East and West

---

**Application No.:** 66419    **App. Type:** FUL    01/04/2021    Approve with Conditions  
**Location:** 16 Birkdale Drive, Bury, BL8 2SG  
**Proposal:** Two storey extension at side/rear with conversion of garage to habitable room

---

**Application No.:** 66449    **App. Type:** FUL    17/03/2021    Approve with Conditions  
**Location:** 16 Turton Close, Bury, BL8 2EE  
**Proposal:** Conservatory at rear (base already built under p/p 42518) and new pitched roof to existing single storey rear extension

---

Ward: **Bury West - Elton**

---

**Application No.:** 66169      **App. Type:** FUL      15/03/2021      Approve with Conditions  
**Location:** 17 Winchester Close, Bury, BL8 1YQ  
**Proposal:** First floor extension at side, conversion of existing garage to living accommodation and single storey extension at front; Attached single storey brick shed at side ; Two additional windows to the first floor east side elevation

---

**Application No.:** 66478      **App. Type:** FUL      06/04/2021      Approve with Conditions  
**Location:** 8 Hunstanton Drive, Bury, BL8 1EG  
**Proposal:** Two storey extension at side/front, two/single storey extension at rear and raising of roof height by 1.2m to accommodate second floor within roof area

---

**Ward:** North Manor

---

**Application No.:** 66350      **App. Type:** FUL      15/03/2021      Approve with Conditions  
**Location:** 87 Summerseat Lane, Ramsbottom, Bury, BL0 9RQ  
**Proposal:** Single storey rear extension; Two storey side & rear extension; Single storey front extension; Dormer extensions to front & rear

---

**Application No.:** 66363      **App. Type:** FUL      16/03/2021      Approve with Conditions  
**Location:** 5 Hawkshaw Lane, Tottington, Bury, BL8 4JZ  
**Proposal:** Extension to existing porch with first floor extension above, two dormers at front, pitched roof above garage and alterations to elevations including additional windows

---

**Application No.:** 66381      **App. Type:** FUL      08/04/2021      Approve with Conditions  
**Location:** Loelands Barn, adjacent 1 The Loelands, Redisher Lane, Ramsbottom, Bury, BL8 4HX  
**Proposal:** Conversion of stables/barn to dwelling

---

**Application No.:** 66425      **App. Type:** FUL      19/03/2021      Approve with Conditions  
**Location:** 118 Railway Street, Summerseat, Ramsbottom, Bury, BL9 5QD  
**Proposal:** Replace existing sun room to rear with single storey rear extension

---

**Application No.:** 66446      **App. Type:** FUL      15/03/2021      Approve with Conditions  
**Location:** 397 Holcombe Road, Tottington, Bury, BL8 4HF  
**Proposal:** Single storey extension at side and rear

---

**Application No.:** 66466      **App. Type:** FUL      22/03/2021      Refused  
**Location:** Sedgewell, 120 Brandlesholme Road, Tottington, Bury, BL8 4DZ  
**Proposal:** Retrospective application for 1.8m high boundary fence and gates

---

**Application No.:** 66511      **App. Type:** FUL      15/03/2021      Approve with Conditions  
**Location:** 28 Rowlands Road, Summerseat, Ramsbottom, Bury, BL9 5NF  
**Proposal:** Conversion of existing garage to living area with single storey infill extension at front

---

**Application No.:** 66555      **App. Type:** FUL      08/04/2021      Approve with Conditions  
**Location:** 30 Byron Road, Ramsbottom, Bury, BL8 4EN  
**Proposal:** Removal of existing garage and erection of two storey side extension, single storey extension at side/rear and front canopy; Widening of existing driveway

---

## Ward: Prestwich - Holyrood

---

**Application No.:** 66355    **App. Type:** FUL    15/03/2021    Approve with Conditions  
**Location:** 237 Heywood Old Road, Rochdale, Manchester, M24 4QR  
**Proposal:** Demolition of existing single storey side extension, replace with single/two storey extension at side and single storey extension at rear with replacement of existing porch at front

---

**Application No.:** 66391    **App. Type:** FUL    19/03/2021    Approve with Conditions  
**Location:** 121 Heys Road, Prestwich, Manchester, M25 1QB  
**Proposal:** First floor extension at side, two storey extension at side/rear and single storey extension at rear and front porch

---

**Application No.:** 66456    **App. Type:** FUL    25/03/2021    Approve with Conditions  
**Location:** 399-415 Bury Old Road, Prestwich, Manchester, M25 1PS  
**Proposal:** Variation of conditions 2 (approved plans), 3 (materials) and 15 (landscaping) attached to Planning Permission 64742 .Changes relate to astroturf to the gardens in place of hardstanding and lawn; canopy roof over the front bay and front door in place of a hipped roof to the bay window; and, use of Carlton Civic Multi Brickwork to frontage

---

## Ward: Prestwich - Sedgley

---

**Application No.:** 66330    **App. Type:** GPDE    19/03/2021    Prior Approval Required Refused - Ext  
**Location:** 14 Cranbrook Drive, Prestwich, Manchester, M25 0JZ  
**Proposal:** Prior approval for proposed single storey rear extension

---

**Application No.:** 66401    **App. Type:** FUL    01/04/2021    Approve with Conditions  
**Location:** 27 Sheepfoot Lane, Prestwich, Manchester, M25 0BP  
**Proposal:** Change of use of land to residential; Demolition of garage; Roof extension with front and rear dormers; Two storey front extension; Single storey rear extension; Two storey side extension; 2 no. balconies to first and second floor on front elevation; Raised decking at rear

---

**Application No.:** 66422    **App. Type:** FUL    26/03/2021    Approve with Conditions  
**Location:** 34 Bury New Road, Prestwich, Manchester, M25 0LD  
**Proposal:** Change of use from hot food takeaway to showroom/office (Sui Generis) and associated works including rear dormer

---

**Application No.:** 66424    **App. Type:** FUL    15/03/2021    Approve with Conditions  
**Location:** 89 Park Road, Prestwich, Manchester, M25 0DX  
**Proposal:** First floor extension at rear

---

**Application No.:** 66428    **App. Type:** FUL    25/03/2021    Approve with Conditions  
**Location:** 1 Cranbrook Drive, Prestwich, Manchester, M25 0JZ  
**Proposal:** Single storey side extension and Two storey rear extension

---

<b>Application No.:</b>	66429	<b>App. Type:</b>	FUL	07/04/2021	Approve with Conditions
<b>Location:</b>	10 Mosslee Avenue, Prestwich, Manchester, M8 4LQ				
<b>Proposal:</b>	Part single/two storey extension at side and rear with external alterations				
<b>Application No.:</b>	66489	<b>App. Type:</b>	FUL	19/03/2021	Approve with Conditions
<b>Location:</b>	4 Colchester Avenue, Prestwich, Manchester, M25 0LL				
<b>Proposal:</b>	Two storey side extension				
<b>Application No.:</b>	66538	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	27 Eastleigh Road, Prestwich, Manchester, M25 0BX				
<b>Proposal:</b>	Two storey front extension; Single storey side extension; Single storey rear extension				
<b>Application No.:</b>	66553	<b>App. Type:</b>	GPDE	17/03/2021	Prior Approval Not Required - Extension
<b>Location:</b>	6 Wilton Avenue, Prestwich, Manchester, M25 0HD				
<b>Proposal:</b>	Prior approval for proposed single storey rear extension.				
<b>Application No.:</b>	66613	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	78 Windsor Road, Prestwich, Manchester, M25 0DE				
<b>Proposal:</b>	Replace existing rear extension/conservatory with two/single storey extension at rear and hip to gable roof extension at side				
<b>Ward:</b>	<b>Prestwich - St Mary's</b>				
<b>Application No.:</b>	66385	<b>App. Type:</b>	FUL	16/03/2021	Approve with Conditions
<b>Location:</b>	46 Kersal Road, Prestwich, Manchester, M25 9XR				
<b>Proposal:</b>	Two storey side extension				
<b>Application No.:</b>	66402	<b>App. Type:</b>	FUL	15/03/2021	Approve with Conditions
<b>Location:</b>	38 Butt Hill Road, Prestwich, Manchester, M25 9NJ				
<b>Proposal:</b>	Two storey side extension; Two storey side/rear infill extension; Dormer extensions at front; Increase in height of roof; Front porch extension				
<b>Application No.:</b>	66463	<b>App. Type:</b>	FUL	19/03/2021	Approve with Conditions
<b>Location:</b>	68 Rectory Lane, Prestwich, Manchester, M25 1BL				
<b>Proposal:</b>	Single storey extension at side and rear				
<b>Application No.:</b>	66531	<b>App. Type:</b>	FUL	26/03/2021	Approve with Conditions
<b>Location:</b>	Prestwich Golf Club, Hilton Lane, Prestwich, Manchester, M25 9XB				
<b>Proposal:</b>	Proposed additions to existing base station installation				
<b>Application No.:</b>	66561	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	210 Butterstile Lane, Prestwich, Manchester, M25 9UN				
<b>Proposal:</b>	First floor side extension and two/single storey rear extension; New front porch; Conversion of garage to living accommodation; Widening of existing driveway; New windows and render to external elevations				



## Ward: Radcliffe - East

---

**Application No.:** 66443    **App. Type:** FUL    19/03/2021    Approve with Conditions  
**Location:** 19A Riverside Road, Radcliffe, Manchester, M26 2PX  
**Proposal:** Single storey extension at side and rear

---

**Application No.:** 66457    **App. Type:** FUL    09/04/2021    Approve with Conditions  
**Location:** 29 St Andrews Road, Radcliffe, Manchester, M26 4HU  
**Proposal:** Two/single storey rear extension, single storey front extension, formation of driveway and render finish to first floor front and side elevations

---

**Application No.:** 66543    **App. Type:** DEM    01/04/2021    Prior Approval Required and Granted  
**Location:** Ashworth Frazer, Higher Ainsworth Road, Radcliffe, Manchester, M26 4AF  
**Proposal:** Prior approval for proposed demolition of 1: Small single storey brick building to the north east of the site 2: Single storey brick warehouse building 3: Two Storey office building

---

**Application No.:** 66544    **App. Type:** FUL    08/04/2021    Approve with Conditions  
**Location:** 23 Durers Chase, Radcliffe, M26 2TH  
**Proposal:** Single storey side extension

---

## Ward: Radcliffe - North

---

**Application No.:** 66117    **App. Type:** FUL    26/03/2021    Approve with Conditions  
**Location:** 40 Bradley Fold Road, Radcliffe, Bolton, BL2 5QD  
**Proposal:** Single storey extension at rear

---

**Application No.:** 66294    **App. Type:** FUL    24/03/2021    Approve with Conditions  
**Location:** 23 Brookfield Avenue, Ainsworth, Bolton, BL2 5QH  
**Proposal:** Roof extension to existing bungalow with rear dormer and 2 no. balcony rooflights at front to form two storey dwelling

---

**Application No.:** 66426    **App. Type:** FUL    17/03/2021    Approve with Conditions  
**Location:** 18 Strangford Street, Radcliffe, Manchester, M26 3TN  
**Proposal:** Single storey side extension; Alterations to front and rear elevations

---

**Application No.:** 66458    **App. Type:** LDCEP    16/03/2021    Split Decision  
**Location:** 15 Bamburgh Close, Radcliffe, Manchester, M26 3TU  
**Proposal:** Lawful development certificate for proposed:  
A) internal alterations  
B) to extend the existing garage forwards by 1m

---

**Application No.:** 66467    **App. Type:** FUL    30/03/2021    Approve with Conditions  
**Location:** The Bungalow, Ainsworth Nursing Home, Knowsley Road, Ainsworth, Bolton, BL2 5PT  
**Proposal:** Variation of conditions following approval of 65626- Amendment to approved plans with the addition of a porch

---

<b>Application No.:</b>	66476	<b>App. Type:</b>	FUL	07/04/2021	Approve with Conditions
<b>Location:</b>	10 Cockey Moor Road, Bury, BL8 2HB				
<b>Proposal:</b>	Dormer at rear to form first floor living accommodation, single storey rear extension and external alterations to include render to elevations				
<b>Application No.:</b>	66488	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	27 Stainton Road, Radcliffe, Manchester, M26 3TP				
<b>Proposal:</b>	First floor extension at side				
<b>Application No.:</b>	66506	<b>App. Type:</b>	FUL	25/03/2021	Approve with Conditions
<b>Location:</b>	7 Bamburgh Close, Radcliffe, Manchester, M26 3TU				
<b>Proposal:</b>	Front porch extension; Single storey rear/side extension				
<b>Application No.:</b>	66573	<b>App. Type:</b>	CON	22/03/2021	Raise No Objection
<b>Location:</b>	Land at Mytham Road, Prestolee Road, Boscow Road, Hall Lane & Newbury Road, Little Lever, Bolton				
<b>Proposal:</b>	Article 18 Consultation from Bolton Council (ref: 09775/20) for proposed request for scoping opinion in respect of the proposed Erection of dwellings on two sites: 178 dwellings at land at former Creams Mill site including land off Mytham Road, with associated works including: internal access, landscaping and infrastructure including a two-way bridge and provision of woodland walks. 96 dwellings at land south of Hall Lane and west of Newbury Road with associated works including: new access from Hall Lane, associated landscaping, internal access and infrastructure including: paths along canal frontage and path linking Moses Gate Country Park. Repair to canal breach and restoration works including re-lining of the Manchester, Bolton and Bury canal and restoration of canal towpath.				
<b>Application No.:</b>	66580	<b>App. Type:</b>	LDCP	26/03/2021	Lawful Development
<b>Location:</b>	6 Stopes Road, Radcliffe, Manchester, M26 3WP				
<b>Proposal:</b>	Lawful development certificate for proposed single storey rear extension and rear dormer extension				
<b>Ward:</b>	<b>Radcliffe - West</b>				
<b>Application No.:</b>	66100	<b>App. Type:</b>	FUL	01/04/2021	Approve with Conditions
<b>Location:</b>	Radcliffe Cricket Club, Unsworth Street, Radcliffe, Manchester, M26 3RF				
<b>Proposal:</b>	Installation of double bay cricket practice facility				
<b>Application No.:</b>	66277	<b>App. Type:</b>	FUL	24/03/2021	Approve with Conditions
<b>Location:</b>	118 Stand Lane, Radcliffe, Manchester, M26 1GS				
<b>Proposal:</b>	Replacement of existing flat roof with new pitched roof to form additional office space to first floor				
<b>Application No.:</b>	66371	<b>App. Type:</b>	FUL	25/03/2021	Approve with Conditions
<b>Location:</b>	Mount Sion Stables, Mount Sion Road, Radcliffe, M26 3SJ				
<b>Proposal:</b>	Change of use of land from agricultural use to a horse exercise manege				

---

**Application No.:** 66508    **App. Type:** FUL    26/03/2021    Approve with Conditions  
**Location:** 11 Tennyson Avenue, Radcliffe, Manchester, M26 3GF  
**Proposal:** Single storey rear extension; Front porch extension; Raised decking at rear

---

**Application No.:** 66512    **App. Type:** GPDE    01/04/2021    Prior Approval Not Required - Extension  
**Location:** 377 Ringley Road West, Radcliffe, Manchester, M26 1EA  
**Proposal:** Prior approval for proposed single storey rear extension

---

**Application No.:** 66592    **App. Type:** GPDE    26/03/2021    Prior Approval Not Required - Extension  
**Location:** 175A Stand Lane, Radcliffe, Manchester, M26 1JQ  
**Proposal:** Prior approval for proposed single storey extension at rear

---

**Application No.:** 66596    **App. Type:** FUL    09/04/2021    Approve with Conditions  
**Location:** 24 Highmeadow, Radcliffe, Manchester, M26 1YN  
**Proposal:** Single storey front extension

---

**Application No.:** 66664    **App. Type:** GPDE    09/04/2021    Prior Approval Not Required - Extension  
**Location:** 89 Ainsworth Road, Radcliffe, Manchester, M26 4FA  
**Proposal:** Prior approval for proposed single storey rear kitchen extension

---

**Ward: Ramsbottom + Tottington - Tottington**

---

**Application No.:** 66407    **App. Type:** FUL    25/03/2021    Approve with Conditions  
**Location:** 21 & 23 Rhine Close, Tottington, Bury, BL8 3NP  
**Proposal:** Single storey extension at rear, new front glazed porch (no. 23) and pitched roof over existing garage at front (nos. 21 & 23)

---

**Application No.:** 66638    **App. Type:** FUL    09/04/2021    Approve with Conditions  
**Location:** 15 Royds Street, Tottington, Bury, BL8 3NH  
**Proposal:** Two/single storey rear extension

---

**Ward: Ramsbottom and Tottington - Ramsbottom**

---

**Application No.:** 66298    **App. Type:** LDCP    15/03/2021    Refused  
**Location:** Land at Central Street, Ramsbottom, Bury, BL0 9AF  
**Proposal:** Certificate of Lawful Development: The proposed operations to provide two storey extension to form two apartments. Amendments to approved scheme in accordance with planning permission dated 29th March 1999 (reference 34966/98) would be lawful development

---

**Application No.:** 66380    **App. Type:** FUL    01/04/2021    Approve with Conditions  
**Location:** 126 Nuttall Lane, Ramsbottom, Bury, BL0 9LE  
**Proposal:** Two storey extension at side, single storey extension at side/rear and front canopy

---

---

**Application No.:** 66413      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 3 Alba Street, Ramsbottom, Bury, BL8 4NA  
**Proposal:** Installation garden building

---

**Application No.:** 66414      **App. Type:** LBC      09/04/2021      Approve with Conditions  
**Location:** 3 Alba Street, Ramsbottom, Bury, BL8 4NA  
**Proposal:** Listed building consent for installation of garden building

---

**Application No.:** 66486      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 298 Holcombe Old Road, Ramsbottom, Bury, BL8 4NQ  
**Proposal:** Removal of open porch, new porch, repointing front elevation and side return

---

**Application No.:** 66500      **App. Type:** FUL      24/03/2021      Approve with Conditions  
**Location:** 36 Marlborough Close, Ramsbottom, Bury, BL0 9YU  
**Proposal:** Two storey extension at side

---

**Application No.:** 66525      **App. Type:** ADV      26/03/2021      Approve with Conditions  
**Location:** Tesco Metro, Irwell Street, Ramsbottom, Bury, BL0 9AS  
**Proposal:** Proposal to install 4no. internally illuminated fascia signs & 4no. non illuminated graphic signs

---

**Application No.:** 66557      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 32 Victoria Street, Ramsbottom, Bury, BL0 9ED  
**Proposal:** Single storey rear extension; Front and rear dormer extensions; Hip to gable roof extension

---

**Application No.:** 66611      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 9 Engel Close, Ramsbottom, Bury, BL0 9XU  
**Proposal:** Single storey extension at side/rear

---

## Ward: **St Marys (Historic)**

---

**Application No.:** 66650      **App. Type:** CON      16/03/2021      Raise No Objection  
**Location:** Clifton Industrial Estate, Rake Lane, Clifton, M27 8LP  
**Proposal:** Article 18 consultation from Salford City Council (ref. 20/76264/FUL) for proposed request for scoping opinion in respect of proposed erection of holding warehouse to weather protect separated materials waiting onward transfer to other suitable treatment facilities.

---

## Ward: **Whitefield + Unsworth - Besses**

---

**Application No.:** 66362      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 49 Lancaster Avenue, Whitefield, Manchester, M45 6DE  
**Proposal:** Single storey rear extension

---

<b>Application No.:</b>	66504	<b>App. Type:</b>	FUL	26/03/2021	Approve with Conditions
<b>Location:</b>	48 Dudley Avenue, Whitefield, Manchester, M45 6EF				
<b>Proposal:</b>	Two/single storey rear extension				
<b>Application No.:</b>	66505	<b>App. Type:</b>	FUL	25/03/2021	Approve with Conditions
<b>Location:</b>	18 Swinton Crescent, Bury, BL9 8PA				
<b>Proposal:</b>	Two storey extension at side				
<b>Application No.:</b>	66515	<b>App. Type:</b>	GPDE	17/03/2021	Prior Approval Not Required - Extension
<b>Location:</b>	50 Kenmore Road, Whitefield, Manchester, M45 8FS				
<b>Proposal:</b>	Prior approval for proposed erection of single storey extension to rear.				
<b>Application No.:</b>	66528	<b>App. Type:</b>	GPDE	19/03/2021	Prior Approval Not Required - Extension
<b>Location:</b>	50 Oak Lane, Whitefield, Manchester, M45 8ET				
<b>Proposal:</b>	Prior approval for proposed Single Storey Rear Extension				
<b>Application No.:</b>	66556	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	81 Kenmore Road, Whitefield, Manchester, M45 8ES				
<b>Proposal:</b>	Single storey side, front and rear extension				
<b>Ward:</b>	Whitefield + Unsworth - Pilkington Park				
<b>Application No.:</b>	66409	<b>App. Type:</b>	FUL	24/03/2021	Approve with Conditions
<b>Location:</b>	8 Leyburn Close, Whitefield, Manchester, M45 7UE				
<b>Proposal:</b>	Two storey front extension; Single storey side and rear extensions				
<b>Application No.:</b>	66435	<b>App. Type:</b>	FUL	09/04/2021	Approve with Conditions
<b>Location:</b>	Higher Lane County Infant School, Egerton Road, Whitefield, Manchester, M25 7EX				
<b>Proposal:</b>	Refurbishment of 2 no.teaching rooms including the removal of 2 no. windows and replacement with 2 no external doors; Erection of 2.4 metres high fencing and gates to Higher Lane.				
<b>Application No.:</b>	66460	<b>App. Type:</b>	FUL	26/03/2021	Approve with Conditions
<b>Location:</b>	7 Stand Avenue, Whitefield, Manchester, M45 7NW				
<b>Proposal:</b>	First floor side extension				
<b>Application No.:</b>	66475	<b>App. Type:</b>	FUL	07/04/2021	Approve with Conditions
<b>Location:</b>	50 Radcliffe New Road, Whitefield, Manchester, M45 7GY				
<b>Proposal:</b>	Two storey rear extension				
<b>Application No.:</b>	66481	<b>App. Type:</b>	FUL	08/04/2021	Approve with Conditions
<b>Location:</b>	42 Ringley Road, Whitefield, Manchester, M45 7LL				



**Proposal:** Removal of existing conservatory and replacement with single storey side extension; removal of existing single storey garage and replacement with 1 and half storey side extension; replacement of staircase from ground floor to basement; internal alterations to non-original walls to existing kitchen area; modifications to non-original ceiling in hall; excavation within basement; doors within basement; new opening at rear of existing downstairs WC.

---

**Application No.:** 66482      **App. Type:** LBC      08/04/2021      Approve with Conditions  
**Location:** 42 Ringley Road, Whitefield, Manchester, M45 7LL

**Proposal:** Listed building consent for removal of existing conservatory and replacement with single storey side extension; removal of existing single storey garage and replacement with 1 and half storey side extension; replacement of staircase from ground floor to basement; internal alterations to non-original walls to existing kitchen area; modifications to non-original ceiling in hall; excavation within basement; doors within basement; new opening at rear of existing downstairs WC.

---

**Application No.:** 66496      **App. Type:** FUL      30/03/2021      Approve with Conditions  
**Location:** 8 Ringley Drive, Whitefield, Manchester, M45 7LF

**Proposal:** First floor extension at rear; new roof with raised ridge height, dormer at rear and remodelling of front elevation

---

**Application No.:** 66522      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 215 Bury New Road, Whitefield, Manchester, M45 8GW

**Proposal:** Single storey rear extension with alterations to existing store and garage

---

## Ward: **Whitefield + Unsworth - Unsworth**

---

**Application No.:** 66286      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 52 Apollo Avenue, Bury, BL9 8HG

**Proposal:** Roof extension to existing bungalow to form two storey dwelling with single storey rear extension and front porch; Erection of outbuilding at rear; Render to external elevations

---

**Application No.:** 66347      **App. Type:** FUL      15/03/2021      Approve with Conditions  
**Location:** 376 Parr Lane, Bury, BL9 8LU

**Proposal:** Replacement refrigeration plant, replacement external lighting, external decoration works

---

**Application No.:** 66420      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 10 Hillsborough Drive, Bury, BL9 8LE

**Proposal:** First floor extension at front

---

**Application No.:** 66468      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 8 Rufford Close, Bury, Manchester, M45 8UD

**Proposal:** First floor extension at side and rear with hip to gable roof extension

---

**Application No.:** 66493      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** 1 Chadderton Drive, Bury, BL9 8NL

**Proposal:** Two/single storey rear extension and conversion of existing flat roof to pitched roof at front/side

---

---

**Application No.:** 66537      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 35 Heathfield Road, Bury, BL9 8HB  
**Proposal:** Single storey extension to side and rear

---

**Application No.:** 66562      **App. Type:** FUL      01/04/2021      Approve with Conditions  
**Location:** North East Quadrant, Junction M66/M60, off Egypt Lane, Prestwich, M25 2ST  
**Proposal:** Removal of 3 no. Vodafone antennas, 1 no dish, 6 no. Vodafone RRUs and 15.0 metre pole (17.5m to top of antennas). Proposed installation of 25m lattice mast with new headframe supporting 18 no antennas., 2 no dishes, together with ground based equipment cabinets within existing compound and ancillary development thereto

---

**Application No.:** 66601      **App. Type:** FUL      09/04/2021      Approve with Conditions  
**Location:** 28 Linksway Drive, Bury, BL9 8EP  
**Proposal:** Two storey extension at front and new bay window with canopy over, first floor/loft roof extension at side with increase in width of existing rear dormer and single storey extension at rear; area of raised decking to the rear.

**Total Number of Applications Decided:**      101

This page is intentionally left blank

# REPORT FOR NOTING

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>20 April 2021</b>
<b>SUBJECT:</b>	<b>PLANNING APPEALS</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	<p>Planning Appeals:</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul> <p>Enforcement Appeals</p> <ul style="list-style-type: none"> <li>- Lodged</li> <li>- Determined</li> </ul>
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to the note the report and appendices
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? Yes
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No
<b>Considered by Monitoring Officer:</b>	N/A

<b>Wards Affected:</b>	All listed
<b>Scrutiny Interest:</b>	N/A

## TRACKING/PROCESS

## DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

## 1.0 BACKGROUND

This is a monthly report to the Committee of the Planning Appeals lodged against decisions of the authority and against Enforcement Notices served and those that have been subsequently determined by the Planning Inspectorate.

Attached to the report are the Inspectors Decisions and a verbal report will be presented to the Committee on the implications of the decisions on the Appeals that were upheld.

## 2.0 CONCLUSION

That the item be noted.

## List of Background Papers:-

### Contact Details:-

David Marno, Head of Development Management  
Planning Services, Department for Resources and Regulation,  
3 Knowsley Place ,Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**

---

## Appeal Decision

Site visit made on 23 March 2021

**by Jillian Rann BA (Hons) MSc MRTPI**

**an Inspector appointed by the Secretary of State**

**Decision date: 09 April 2021**

---

**Appeal Ref: APP/T4210/D/20/3264665**  
**159 Radcliffe Road, Bury BL9 9LN**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Amran Asghar against the decision of Bury Metropolitan Borough Council.
  - The application Ref 65867, dated 21 August 2020, was refused by notice dated 11 November 2020.
  - The development proposed is described as: "two storey side, rear and front porch extension, to form additional living space".
- 

### Decision

1. The appeal is dismissed.

### Preliminary Matter

2. The Council's decision was based on a revised drawing which included a slight change to the width of the two storey extension and the addition of annotations relating to its construction. I have considered the appeal on the basis of the revised drawing<sup>1</sup>, consistent with the Council's decision.

### Main Issue

3. The main issue is the effect of the proposed development on the character and appearance of the appeal site and its surroundings.

### Reasons

4. The appeal relates to a semi-detached house on the corner of Radcliffe Road and Lilac Avenue. The Council's Supplementary Planning Document 6: Alterations and Extensions to Residential Properties (the SPD) advises that on corner plots extensions will normally be required to leave a minimum of 2m from the boundary with the highway to the side, but that a lesser setback may be acceptable where the prevailing pattern of development in the locality is typified by relatively shallow frontages.
5. The site is part of a street scene of detached and semi-detached houses on the southern side of Radcliffe Road which are of a similar age and share common architectural details such as hipped roofs and gable-topped bay windows. Those which are on corner plots, such as the appeal site, are positioned quite close to their side boundaries. However, even where those corner properties

---

<sup>1</sup> Proposed Floor Plans and Elevations drawing reference: IPS/R/159/BL99LN SHT 2 of 2 Revision A.



have had two storey side extensions added, those extensions have still been set in from their side boundaries to some degree. A sense of space around those buildings and of separation and distinction between them and the footways alongside them is thus preserved.

6. 161 Radcliffe Road, on the other side of the Lilac Avenue junction, is one such plot and has maintained a gap and a sense of separation to its side boundary despite two storey extensions to the side and rear. Indeed, in allowing the appeal for those extensions at No 161<sup>2</sup>, the Inspector specifically noted that they 'would retain space a little under 1m in width to the boundary fence at the back edge of the footway, and would not be overbearing'.
7. However, the side of the two storey extension proposed in this case would be located almost on the edge of the Lilac Avenue footway. Due to its height and depth it would have a significant scale and massing, projecting alongside that adjacent footway for some distance. In contrast to the two storey extensions at No 161 and on other corner plots nearby, the setback distance between its side elevation and the edge of the adjacent footway would be negligible and insufficient to preserve any sense of space to the side of the building or of separation or distinction between it and the boundary or adjacent footway.
8. The extended appeal building would thus appear uncomfortably cramped within the site and would be discordant and unduly dominant in the street scene and its wider surroundings, even in the context of the relatively shallow frontages of other extended corner plots nearby. That harm would not be mitigated by the use of matching materials or sympathetic detailing as proposed.
9. During my visit I observed that a house on the corner of Radcliffe Road and Vale Avenue has a side extension which projects almost to the edge of the footway to the side. From the limited information before me, I cannot be certain of the circumstances in which that extension was constructed. Nonetheless, that existing extension is single storey and the first floor of its host building thus remains set back from the adjacent footway. Its appearance and effect on its wider surroundings are therefore not directly comparable to the larger two storey extension before me which, in any event, I have considered on its own planning merits.
10. I conclude that the proposed development would have an adverse effect on the character and appearance of the appeal site and its surroundings. It would therefore conflict with Policy H2/3 of the Bury Unitary Development Plan, which requires applications for house extensions to be considered with regard to the character of the property in question and the surrounding area. It would also conflict with the aims of the SPD insofar as it seeks to ensure that domestic extensions do not have a detrimental impact on the character or appearance of the street scene.

## **Other Matters**

11. I have had due regard to the Public Sector Equality Duty contained in the Equality Act 2010, which sets out the need to eliminate unlawful discrimination, harassment and victimisation and to advance equality of opportunity and foster good relations between people who share a protected characteristic and people who do not share it.

---

<sup>2</sup> Appeal reference: APP/T4210/D/10/2125576

12. I have also had regard to the section of the SPD entitled Ethnic Considerations, which sets out that where there are special needs for family living circumstances consideration shall be given to the relaxation of guidance in the SPD where it can be clearly demonstrated that there will be no direct harm to the principles outlined in Chapter 2. Those principles refer, amongst other things, to applications for house extensions being considered with regard to the character of the property and the surrounding area.
13. The proposed extensions would provide additional accommodation for the appellant's family, and I have noted the submissions regarding the family's personal circumstances. However, for the reasons given I find that the development would cause harm to the character of the property and the surrounding area, and thus to the principles in the SPD. I have been advised that reducing the width of the extension would make most of the rooms within it unusable. However, I have not been presented with detailed evidence to demonstrate that the proposed development would be the only means of meeting the needs identified. Furthermore, the development proposed would be permanent and would remain indefinitely regardless of the needs of the initial occupiers. Therefore, whilst I have regard to this matter as a benefit in favour of the proposal, the weight I attach to it is limited.
14. The revised drawing which formed the basis of the Council's decision was not the subject of publicity during the course of the application. However, as I have found the proposal unacceptable despite the amendments made, I am satisfied that no party would be prejudiced by my having based my decision on the revised drawing in this case.

### **Conclusion**

15. The proposal would harm the character and appearance of the area and would conflict with the development plan taken as a whole. Other material considerations do not indicate that the decision should be made other than in accordance with the development plan. Therefore, for the reasons given, I conclude that the appeal should be dismissed.

*Jillian Rann*  
INSPECTOR

This page is intentionally left blank

# REPORT FOR INFORMATION

Agenda Item 7

**Bury**  
COUNCIL

**Agenda  
Item**

**7**

<b>DECISION OF:</b>	<b>PLANNING CONTROL COMMITTEE</b>
<b>DATE:</b>	<b>20<sup>th</sup> April 2021</b>
<b>SUBJECT:</b>	<b>PLANNING ENFORCEMENT</b>
<b>REPORT FROM:</b>	<b>HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>CONTACT OFFICER:</b>	<b>DAVID MARNO – HEAD OF DEVELOPMENT MANAGEMENT</b>
<b>TYPE OF DECISION:</b>	<b>COUNCIL (NON KEY DECISION) COUNCIL</b>
<b>FREEDOM OF INFORMATION/STATUS:</b>	This paper is within the public domain
<b>SUMMARY:</b>	This Report provides statistical information on Enforcement activity between 31st December 2020 to 31st March 2021
<b>OPTIONS &amp; RECOMMENDED OPTION</b>	The Committee is recommended to note the Report
<b>IMPLICATIONS:</b>	
<b>Corporate Aims/Policy Framework:</b>	Do the proposals accord with the Policy Framework? No
<b>Statement by the S151 Officer: Financial Implications and Risk Considerations:</b>	Executive Director of Resources to advise regarding risk management N/A
<b>Statement by Executive Director of Resources:</b>	N/A
<b>Equality/Diversity implications:</b>	No (see paragraph below)
<b>Considered by Monitoring Officer:</b>	Yes Comments

<b>Wards Affected:</b>	ALL
<b>Scrutiny Interest:</b>	N/A

## TRACKING/PROCESS

## DIRECTOR:

Chief Executive/ Strategic Leadership Team	Executive Member/Chair	Ward Members	Partners
Scrutiny Committee	Committee	Council	

## 1.0 BACKGROUND

This report presents a brief analysis of Enforcement performance and activity for the period between 31st December 2020 and 31st March 2021 and includes table 1 (below) showing a statistical analysis of performance over that period.

All Enforcement Notices served and Actions taken are considered against the provisions of the Human Rights Act 1998. In taking account of whether to serve an Enforcement Notice or take Action, which is a discretionary power afforded to Councils under the Town and Country Planning Act 1990 (as amended), consideration is taken as to whether the individual's rights are affected and whether it is expedient to serve such a Notice or take Action against the individual.

Any Enforcement Notice served is considered as to whether it is expedient to do so in accordance with the Council's adopted Unitary Development Plan, National Planning Policy Framework and National Planning Policy Guidance.

Table 1 provides a detailed breakdown of the number and type of notice issued and other actions such as prosecutions during the quarter period. It also includes a performance standard in terms of the speed of the responses to initial site visits having been carried out.

Table 1

	<b>Period 31/12/20 to 31/03/21</b>
Number of Complaints received	<b>123</b>
% where initial site visit within 10 working days	<b>86.25%</b> (average time to visit 5 working days)
Number of complaints resulting in a breach of Planning Control	<b>48</b>
Number of Enforcement Notices served	<b>0</b>
Number of Stop Notices served	<b>0</b>
Number of Breach of Condition Notices served	<b>0</b>
Number of Section 215 Untidy land/building Notices served	<b>1</b>
Number of Temporary Stop Notices served	<b>0</b>
Number of Planning Contravention Notices served	<b>0</b>
Number of Injunctions served	<b>0</b>
Number of Prosecutions made	<b>0</b>
Number of Prosecutions referred to Legal for Prosecution	<b>0</b>
Number of Formal Cautions issued / Interviews Under Caution	<b>0</b>
Number of Works in Default actions taken	<b>0</b>
Number of High Hedges Remedial/Tree Replacement Notices served	<b>0</b>
<b>Total Number of Notices/Actions</b>	<b>1</b>



## **2.0 ISSUES**

### **CURRENT STAFFING LEVELS AND WORKING ARRANGEMENTS**

The Enforcement Team currently comprises of a Senior Planning Enforcement Officer and a Planning Enforcement Officer, who are employed full time. The Officers deal with complaint cases on a Borough wide basis, in accordance with the Council's Customer Charter for the Planning Enforcement Service.

### **3.0 WORKLOAD/COMPLAINT CASES RECEIVED AND TRENDS IDENTIFIED**

Table 1 above sets out statistical information for the period 31st December 2020 to the 31st March 2021.

During this period, we received 123 complaints that required a formal investigation, this number appears to be slightly higher than previous years. Out of the 123 complaints, it has been determined that 48 have breaches of planning control following investigation.

It should be noted that complaints that have been logged towards the end of the month are still being investigated as we are awaiting responses from owners.

Where a site visit is required, we are currently visiting sites within 5 working days. This can vary due to the need to access a site safely when considering the current Covid restrictions.

We are still dealing with a number of initial complaints due to the Covid situation. Noise and boundary disputes along with running a business (working from home) account for the bulk of this type of complaint. Some of these are not logged, following a description from the complainant, as they are not of a planning nature.

There are a number of formal notices that were served in the previous quarter that are pending. In one instance, a planning application was received and is still being considered. Another instance is where information has been received in respect of planning conditions and is being considered by the appropriate department. These are monitored and if further action is required we will of course take appropriate action.

### **Food/Drink Establishments and 'Pop-Ups'**

The team have had a rise in complaints relating to structures being erected in car parks or land adjacent to Public Houses and Restaurants. There has been no temporary permitted development rights issued by the Government for these, other than where they are located within the highway and thus a pavement regime has been devised to process these applications.

Elsewhere, on private land, current Government guidance does impose restrictions relating to social distancing, which means that businesses are seeking alternative ways in which to maintain economic viability, whilst satisfying safe distancing measures. The result is that a number of 'Pop-Ups' have appeared.

In many instances, these structures would require planning permission. Some Local Planning Authorities have made interim policy statements along the lines of not taking action for a 6 month period and maintaining an open mind, with a commitment to review in due course.

In planning terms, where temporary structures are erected for an event, they would benefit from a deemed consent for 28 days in any calendar year. Beyond that, action can be taken on structures within four years from its first arrival.

Bury has not introduced a formal process for this. However, where a proposer does seek advice or notifies the Local Planning Authority, this is logged and monitored. Elsewhere, new developments are also logged and monitored whether found by the team or noted by the public.

In essence, Government's approach is suggesting a light touch type of approach and following from this, action should be taken where it is appropriate to do so. This may be for reasons of inappropriately sited structures, the creation of traffic concerns, amenity consideration and built historic importance to name but a few.

Other agencies within the Local Authority, such as Traffic, Licensing or Environmental Health regimes are and do still have an input and have the ability to impose their own restrictions or considerations where this may be appropriate.

In conclusion, there is a clear acceptance that there will be some breaches of controls. However, breaches would have to have occurred beyond 4 or 10 years (depending on the type of development) to be immune from enforcement action. As such, the expediency and public interest tests will apply, meaning that, as restrictions are lifted, these structures ought to be removed. Where there is a desire to retain these structures, then planning permission should be sought and importantly consult with the council in its widest sense, to ensure that appropriate consents are in place where they are required. Finally, where there is demonstrable harm and the Local Planning Authority raises express concerns, this may result in structures having to be revised or removed.

## **Complaints Categorisation**

The 123 complaints we have received over the last quarter can be largely categorised as follows;

Untidy land – 9

Outbuildings - 34

Breach of Conditions – 15

Fences/Decking – 17

Not built in Accordance with approved Plans – 11

Trees – 12.

Business – 13

Change of Use – 12

### **3.1 FORMAL NOTICES SERVED/ACTIONS TAKEN**

As previously stated, we have a number of Notices that are held in abeyance due to applications being made to the Planning department that are being currently being considered.

### **Enforcement Appeal Decisions**

There have been no Enforcement Appeal Decisions within the past quarter.

Members may also be interested in other complaints received during the period, please see Appendix 1 for the full list of complaints formally investigated during this past year.

### **3.0 CONCLUSION**

The majority of cases logged in the past 3 months have generally been dealt with via negotiation and applications being submitted to the Development Management Team. There are one or two cases currently that may require more formal action. Action on those cases where notices have been issued and held in abeyance, will be dependent on planning application outcomes.

The need to thoroughly investigate complaints, draft and issue the formal notices, monitor existing enforcement notices served for compliance, prepare appeal statements is continuing to have a significant impact on the workload of the Enforcement Team, however, this is the nature of the work.

The service provided is primarily a reactive one in that we respond to complaints received from members of the public. It is recognised that the workload levels are such that the Enforcement Charter reply times are not being hit in some minor cases but where significant breaches arise, these are dealt with well within the Charter reply times.

---

## **Appendix 1 – List of Enforcement complaints received between 31/12/2020 and the 31/03/2021**

---

### **Number of complaints; 123**

#### **Enforcement Complaints received between 31/12/2020 and 31/03/2021**

21/0091 PK 1 Fellside Close, Tottington, Bury, BL8 4QA

Erection of fencing  
04/03/2021

21/0077 DMO 1 Mosley Avenue, Bury, BL9 6PQ

Erection of outbuilding and running car sale business from home  
26/02/2021

21/0112 PK 1 St Peters Road, Bury, BL9 9RA

Works taking place in rear garden  
18/03/2021

21/0078 PK 10 Rochdale Old Road, Bury, BL9 7LQ

Erection of outbuilding  
02/03/2021

21/0045 PK 102 Church Street West, Radcliffe, Manchester, M26 2SY

Change of use of property to HMO (House of multiple occupation)  
05/02/2021

21/0122 PK 11 Cleadon Drive South, Bury, BL8 1EJ

Breach of condition no. 2 of planning permission 60281/65187 (vehicular access)  
29/03/2021

21/0032 PK 11 Pine Avenue, Whitefield, Manchester, M45 7EQ

Running dog day care centre from residential property  
02/02/2021

21/0103 DMO 110 Heys Road, Prestwich, Manchester, M25 1LA

Erection of decking  
12/03/2021

21/0088 PK 118 Thatch Leach Lane, Whitefield, Manchester, M45 6FW

Rear extension  
03/03/2021

21/0035 DMO 12 Tagg Wood View, Ramsbottom, Bury, BL0 9XP

Erection of patio and fencing  
03/02/2021

21/0113 DMO 121 Lowercroft Road, Bury, BL8 3PA

Breach of conditions of planning permission 64816  
19/03/2021

21/0014 DMO 13 Second Avenue, Fairfield, Bury, BL9 7RL

Complaint is regards to a possible HMO at the premises that may require planning approval.  
18/01/2021

21/0089 PK 13 Silverdale Avenue, Prestwich, Manchester, M25 0FD

Running business from home  
03/03/2021

21/0007 DMO 133 Turks Road, Radcliffe M26 3WW

Unauthorised building works  
11/01/2021

21/0033 DMO 15 Newhaven Close, Bury, BL8 1XX

Raising of rear garden levels  
02/02/2021

21/0109 DMO 16 Rothbury Close, Bury, BL8 2TT

Erection of summer house in rear garden  
18/03/2021

21/0082 DMO 17 Highfield Road, Prestwich, Manchester, M25 3AQ

Not being built in accordance with approved plans of planning permissions 65336 & 65534 (decking at rear)  
02/03/2021

21/0016 PK 173 Tottington Road, Bury, BL8 1RX

Erection of fencing  
20/01/2021

21/0044 PK 18 Kendal Road, Ramsbottom, Bury, BL0 9SP

Untidy land and building  
05/02/2021

21/0087 PK 18 Neston Road, Tottington, Bury, BL8 3DB

Not being built in accordance with approved plans of planning permission 66345  
(encroaching onto neighbouring land)

03/03/2021

21/0037 PK 188 Rochdale Old Road, Bury, BL9 7SB

Change of use from shop to hot food takeaway with flue at rear

03/02/2021

21/0115 DMO 1A & 3A Langley Hall Road, Prestwich, Manchester, M25 3BZ

Unauthorised change of use from residential to religious facility and conversion of 2 no.  
dwelling houses into 1 no. dwelling house

19/03/2021

21/0119 DMO 2 Butt Hill Road, Prestwich, Manchester, M25 9NJ

Not being built in accordance with approved plans of planning permission 65627 (Erection  
of detached garage)

26/03/2021

21/0027 PK 2 Clarendon Street, Whitefield, Manchester, M45 6AF

Creation of driveway and paved the garden

29/01/2021

21/0049 PK 2 Fairway, Prestwich, Manchester, M25 0JH

Not being built in accordance with approved plans of planning permission 59080 (dormers  
at front/rear of no's 2 & 4 Fairway)

11/02/2021

21/0001 DMO 2 Sunningdale Avenue, Radcliffe, Manchester, M26 3WJ

Erection of fence (adjacent to 37 Countess Lane)

04/01/2021

21/0004 DMO 201 Parkhills Road, Bury, BL9 9AJ

Not built in accordance with the Approved Drawings (65683)

05/01/2021

21/0090 PK 22 Newhall Avenue, Radcliffe, Bolton, BL2 6RX

Change of use of land to side into residential garden

04/03/2021

21/0094 PK 253 Bury And Bolton Road, Radcliffe, Manchester, M26 4FP

Erection of garage

08/03/2021



21/0073 DMO 29 Cardigan Drive, Bury, BL9 9LG

Not built in accordance with approved plans of planning permission 66211 (Encroaching onto neighbouring land)

25/02/2021

21/0023 DMO 3 Lakeland Crescent, Bury, BL9 9SF

Erection of fencing

27/01/2021

21/0005 DMO 3 Rhine Close, Tottington, Bury, BL8 3NP

Building works

13/01/2021

21/0123 DMO 3 Ribbleton Close, Bury, BL8 2TH

Erection of outbuilding

29/03/2021

21/0121 PK 31 Highmeadow, Radcliffe, Manchester, M26 1YN

Running hot food takeaway business from home

29/03/2021

21/0069 PK 319 Bolton Road, Bury, BL8 2PD

Change of use from betting shop to retail store/off licence

23/02/2021

21/0055 PK 32 Cromer Road, Bury, BL8 1ES

Change of use of property to HMO (House of multiple occupation)

16/02/2021

21/0060 DMO 33 Craigwell Road, Prestwich, Manchester, M25 0FE

Building works taking place in garden and garage

22/02/2021

21/0003 DMO 33 Leander Close, Radcliffe, M26 4LG

Building works/driveway.

05/01/2021

21/0099 DMO 34 Walmersley Road, Bury BL9 6DP

Change of use to hot food takeaway

04/03/2021

21/0074 PK 38 Fernview Drive, Tottington, Bury, BL0 9XG

Erection of fencing in rear garden

25/02/2021

21/0050 DMO 399 Parr Lane, Bury, BL9 8NA

Not being built in accordance with approved plans of planning permission 66091

11/02/2021

21/0056 PK 4 Douglas Avenue, Bury, BL8 2RQ

Erection of structure in rear garden  
19/02/2021

21/0043 DMO 40 Bishops Road, Prestwich, M25 0AS

Breach of condition of planning permission 62271  
03/02/2021

21/0031 DMO 40 Burghley Close, Radcliffe, M26 3XY

Unauthorised building works.  
02/02/2021

21/0041 DMO 40 Burghley Drive Radcliffe M26 3XY

Unauthorised building works  
01/02/2021

21/0100 DMO 402 Bolton Road West, Ramsbottom, Bury, BL0 9RY

Engineering works to the rear of 402A Bolton Road West (Banking to the brook, possibly relates to  
08/03/2021  
the Hare and Hounds Public House)

21/0080 DMO 404 Tottington Road, Bury, BL8 1TU

Building works and running business from home (Private gym/Personal Training)  
26/02/2021

21/0084 DMO 42 Scholes Street, Bury, BL8 2RA

High spiked fencing has been erected. Site untidy. Originally reported to Building Control  
02/03/2021

21/0110 PK 46 Highfield Road, Prestwich, Manchester, M25 3AQ

Erection of outbuilding  
18/03/2021

21/0107 DMO 5 Hall Street, Bury, BL8 1RY

High hedges  
11/03/2021

21/0039 DMO 5 Hambleton Close, BL8 2JP

Erection of structure to rear of property  
03/02/2021

21/0010 DMO 5 Newbold Street, Bury, BL8 2RR

Change of use of property to hostel  
13/01/2021

21/0051 PK 508 Manchester Road, Bury, BL9 9NZ

Not being built in accordance with approved plans of planning permission 66252 (Pitched

roof)  
11/02/2021

21/0063 DMO 51 - 53 Bolton Road, Ramsbottom (Former Ramsbottom Co-op)  
Possible unlawful work to a Listed Building. (Planning Application 65698 had been withdrawn)  
17/02/2021

21/0025 PK 51 Hillingdon Road, Whitefield, Manchester, M45 7GL  
Erection of wall to front of property  
27/01/2021

21/0066 DMO 6 Cleveleys Avenue, Bury, BL9 9LA  
Unauthorised Building  
16/02/2021

21/0064 DMO 6 Derby Street, Prestwich, M25 1NY  
Erection of cctv cameras  
22/02/2021

21/0008 DMO 60, 62 & 64 Cornwall Drive, Bury, BL9 9DP  
Bungalows being extended  
13/01/2021

21/0009 DMO 606 Bolton Road, Bury, BL8 2DR  
Not being built in accordance with approved plans of lawful development certificate 65796  
13/01/2021  
(encroaching onto neighbouring boundary)

21/0013 DMO 62 Bridge Street, Ramsbottom, Bury, BL0 9AG  
Illuminated neon sign to the rear of the front glazing  
15/01/2021

21/0108 DMO 67 Shrewsbury Road, Prestwich, Manchester, M25 9GQ  
Works to protected trees  
12/03/2021

21/0059 DMO 67 Whalley Road, Ramsbottom, Bury, BL0 0DP  
Storage container on land between 63 & 67 Whalley Road and running business from home  
22/02/2021

21/0118 PK 68 Hutchinson Way, Radcliffe, Manchester, M26 3AB  
Erection of fencing  
25/03/2021

21/0079 PK 68 Rufford Drive, Whitefield, Manchester, M45 8PL  
Erection of fencing  
02/03/2021

21/0028 DMO 6A Thatch Leach Lane, Whitefield, Bury, M45 6BE

Change of use of property to restaurant  
29/01/2021

21/0065 DMO 7 Muirfield Close, Prestwich, Manchester, M25 1PW

Erection of fencing  
16/02/2021

21/0057 PK 7 Stanley Drive, Whitefield, Manchester, M45 7HF

Not built in accordance with the approved plans of planning permission 63341 & 65097  
(flue pipe at rear)  
19/02/2021

21/0029 DMO 70 Hunstanton Drive, Bury, BL8 1XH

Dropped curb and creation of driveway  
29/01/2021

21/0071 DMO 8 Scotland Place, Ramsbottom, Bury, BL0 9BD

Erection of single storey building at side of property  
23/02/2021

21/0095 DMO 80 Heywood Road, Prestwich M25 1FN

Building works  
10/03/2021

21/0085 PK 80a Ashworth Street, Walshaw, Bury BL8 1AB

Conversion of property into 2 no.self contained flats  
02/03/2021

21/0022 PK 9 Barnhill Road, Prestwich, Manchester, M25 9WH

Boundary wall over 2m high  
25/01/2021

21/0068 DMO 9 Daisy Street, Bury, BL8 2QG

Erection of outbuilding  
23/02/2021

21/0114 DMO Abbots Hall, Woodhey Road, Ramsbottom, Bury, BL0 9RD

Unauthorised parking on land and caravan storage  
19/03/2021

21/0098 DMO Ainsworth Hall Farm, Ainsworth Hall Road, Ainsworth, Radcliffe, Bolton,  
BL2 5QT

Building works  
10/03/2021

21/0020 DMO Ainsworth Mill, Bury New Road, Radcliffe, Bolton, BL2 6QL

Grocery store opened on one of the units - Possible Change of Use  
21/01/2021

21/0067 DMO Aldercliffe Riding Establishment, Harwood Road, Tottington, Bury, BL8 3PT

Not being built in accordance with the approved plans 64595  
22/02/2021

21/0076 DMO Bevis Green Works, Mill Road, Bury, BL9 6RE

Breach of Traffic Management Plan - heavy vehicles moving through the housing estate (Palentine Drive/Ribble Drive)  
25/02/2021

21/0034 DMO Builders Yard At Rear Of Smyrna Street, Radcliffe, Manchester, M26 4BN  
Existing building being extended and works taking place in the yard  
02/02/2021

21/0117 PK Campo Blanco, 1 Moss Lane, Whitefield, Manchester, M45 6QE  
Change of use from accountants to restaurant  
23/03/2021

21/0046 DMO Christ Church, Ramsbottom, Bury  
Installation of storage units on car park  
03/02/2021

21/0096 DMO Common Land At Rear of 23/25 Kersal Road, Prestwich, Manchester, M25 9SJ  
Erection of boundary fences and change of use of land to residential gardens  
10/03/2021

21/0116 DMO Elton High School, Walshaw Road, Bury, BL8 1RN  
Engineering operation - raising of levels to the rear of Cotswold Crescent  
22/03/2021

21/0097 DMO Farm on Whalley Road, Ramsbottom, Bury, BL0 0DP  
Running waste transfer business from farm and causing traffic issues  
10/03/2021

21/0075 DMO Former Millwood School, Fletcher Fold Road, Bury, BL9 9RX  
Unlawful removal of trees  
25/02/2021

21/0026 PK Former Reservoir on Vale Street, Radcliffe, Bolton, BL2 6QF  
Infilling of reservoir with waste materials  
28/01/2021

21/0061 DMO Former Town Hall, Water Street, Radcliffe  
Unauthorised building works.  
10/02/2021

21/0106 DMO Garages Colonies at Baguley Crescent, Prestwich, M24 4QT

Untidy land (relates to the area of the garage colonies). This been looked at on a number of occasions; The last being 18/0350  
11/03/2021

21/0017 DMO Gin Hall Building, Walmersley Road, Bury

Works to building  
21/01/2021

21/0019 DMO Green On Lynmouth Court, Prestwich, Manchester, M25 9TL

Installation of mobile phone mast  
21/01/2021

21/0021 PK Junction of Outwood Road & Ringley Road West, Radcliffe, Manchester

Temporary traffic lights causing disruption  
21/01/2021

21/0030 DMO Land Adjacent To 16A Watling Street, Tottington, Bury, BL8 3QS

Storage container not been removed from site in breach of planning application 62652 and further  
29/01/2021  
developments on the site

21/0072 DMO Land at Brandlesholme Road, Bury, BL8 1BA

Breach of conditions of planning permission 64640  
24/02/2021

21/0092 DMO Land At Edward Street, Radcliffe, Manchester, M26 1UD

Breach of condition no. 10 of planning permission 62337  
04/03/2021

21/0105 DMO Land At Edward Street, Radcliffe, Manchester, M26 1UD

Unauthorised gates (relates to Planning Approval 62337)  
09/03/2021

21/0093 DMO Land At Green Street, Bury, BL8 1TF

Breach of condition no.10 of planning permission 65293  
04/03/2021

21/0058 PK Land At Side Of 116 Rectory Lane, Prestwich, Manchester, M25 1DJ

Untidy land  
22/02/2021

21/0102 PK Land at side of 7 Shakespeare Avenue, Bury, BL9 9QY

Engineering works  
10/03/2021



21/0083 DMO Land of Leigh Lane, Walshaw, 'Plot 2'

Unauthorised buildings to the rear of the plot  
01/03/2021

21/0062 DMO Land off Leigh Lane, Walshaw - 'Plot 1'

Unlawful removal of trees  
22/02/2021

21/0101 DMO Land off Ramsbottom Road (Opposite Walves Reservoir)

Unauthorised Building Works  
08/03/2021

21/0104 DMO Land off Wash Lane, Bury

Removal of Trees  
11/03/2021

21/0054 DMO Land On Leigh Lane, Bury, BL8 1RJ - 'Plot 3'

Works to TPO protected trees  
16/02/2021

21/0018 DMO Land On Tanners Street, Ramsbottom, Bury, BL0 9ES

Erection of bollards  
21/01/2021

21/0038 DMO Land to the north of the Garsdale PH, Woodhill Road, Bury

Breach of conditions of planning permission 63243  
26/01/2021

21/0081 DMO Land to the rear of The Hare and Hounds, Ramsbottom

Collapse of wall -complainant information forwarded from Dave Giblin.  
01/03/2021

21/0040 DMO Lord Clive Pub, 92 Mersey Drive, Whitefield, M45 8LF

Breach of construction management condition of planning permission 65379  
21/01/2021

21/0048 DMO Pilsworth Fisheries

Unauthorised tree clearance  
09/02/2021

21/0036 DMO Pilsworth South Quarry, Pilsworth Road, Bury, BL9 8QZ

Sweeping footpaths on site  
03/02/2021

21/0024 PK Prestwich Heys F C, Sandgate Road, Whitefield, Manchester, M25 5WG

Untidy land  
27/01/2021

21/0086 DMO Railway Goods Sheds, Rowlands Road, Summerseat, Ramsbottom, Bury, BL9 5QY

Building works  
03/03/2021

21/0111 PK Rear Of 105 Stand Lane, Radcliffe, Manchester, M26 1JR

Erection of outbuilding and wooden fencing on top of brick wall  
18/03/2021

21/0015 DMO St Josephs RC Primary School, Queen Street, Ramsbottom, Bury, BL0 9JJ

Not being built in accordance with approved plans of planning permission 65821  
18/01/2021

21/0047 DMO Swan Lodge, Off Radcliffe Road, Bury.

Prior information relating to tree works prior to nesting season - no action at this time.  
09/02/2021

21/0052 PK Synagogue, 76 Bury New Road, Prestwich, Manchester, M25 0JU

Breach of condition no.13 (opening hours) of planning permission 45841  
11/02/2021

21/0011 DMO The Island, Railway Street, Summerseat

Unauthorised fencing and gate  
14/01/2021

21/0042 DMO The Rectory, 41 Church Street, Prestwich, M25

Possible Breach in Respect of Listed Building  
29/01/2021

21/0002 DMO The Vacuum Pouch Co. Abel House, Leigh Street, Walshaw BL8 3AL

2 no. storage container units adjacent residential land (Bank Street)  
04/01/2021

21/0006 DMO Travellers Site, Woodhill Road, Bury, BL8 1XH

Unauthorised works to fences and trees  
04/01/2021

21/0053 DMO Unsworth High School, Parr Lane, Bury, BL9 8LP

Building works  
12/02/2021

21/0012 DMO Upper Spen Moor Farm, Bury and Bolton Road, Bury

Unauthorised gates (Pedestrian and Vehicular)  
14/01/2021

21/0120 DMO Victoria Hotel, 12 Hall Street, Walshaw, Tottington, Bury, BL8 3BD

Erection of wooden structure at rear  
26/03/2021

21/0070 DMO Walmersley Old Road, 3 Walmersley Old Road, Bury, BL9 6SD

Unauthorised Engineering Operation  
23/02/2021

Number of Complaints 123

**Contact Details:-**

David Marno  
Head of Development Management  
Regulation and Resources  
3 Knowsley Place  
Duke Street  
Bury BL9 0EJ

**Tel: 0161 253 5291**

**Email: [d.marno@bury.gov.uk](mailto:d.marno@bury.gov.uk)**